



**MINUTES
TOWN OF AMHERST
DESIGN ADVISORY BOARD MEETING
September 28, 2023
6:00 PM**

The regular meeting of the Town of Amherst Design Advisory Board was called to order by Chair Giuliani on Thursday, September 28, 2023 at 6:00 pm in the Council Chambers of the Town of Amherst Municipal Building, 5583 Main Street, Williamsville, New York.

ROLL CALL

Attendee Name	Organization	Title	Status	Arrived
Duncan M. Black	Town of Amherst	Vice Chairperson	Present	
Dal Giuliani	Town of Amherst	Chairperson	Present	
Marissa Colucci	Town of Amherst	Member	Present	
Peter Talty	Town of Amherst	Member	Present	
Tracy Conhiser-Uy	Town of Amherst	Member	Present	
Jacqueline Berger	Town of Amherst	Councilmember	Present	
Anne Dafchik	Town of Amherst	Architect	Present	
Dan Howard	Town of Amherst	Planning Director	Present	
Gary Palumbo	Town of Amherst	Associate Planner	Present	
James Quinn	Town of Amherst	Assistant Planner	Present	
Rachel Boerschig	Town of Amherst	Clerk-Typist	Present	

DESIGN REVIEW APPLICATIONS

- 1.1. DESIGN REVIEW FOR SITE PLAN, SP-2023-06, FOR A MIXED-USE DEVELOPMENT AT 1720, 1740 & 1760 MAPLE ROAD
Property Located at 1720, 1740, & 1760 Maple Road
PB Investors, LLC., Petitioner

Project Description:

The proposed mixed-use redevelopment project consists of a proposed 4-story multi-family building, a 4-story mixed use building (ground floor commercial), two 2-story townhouse buildings with attached garages, and parking, landscaping, lighting, storm water management improvements and all required utility improvements. The project includes a total of 118 residential units and 9,715 s.f. of commercial space. The project has one new curb cut on Maple Road. A second driveway to Maple Road is shared with the pediatric medical building to the

east, as well as a shared access to the east at Ayer Road. The approximately 5.1-acre site consists of 1720, 1740, and 1760 Maple Road ("Project Site") zoned Deep Corridor 5 ("DC-5").

Sean Hopkins, Esq., represented the petitioner, explained the proposal and was available to answer questions from the Board. Brian Slevar, AIA, presented the materials to the Board and was also available for questions. Paul Bliss took questions from the Board. Patrick Sheedy Jr., PE, and Chris Ortloff were also available for questions.

General Discussion:

Mr. Giuliani acknowledged the proposed design improved. The board inspected the material samples and asked clarifying questions that Mr. Hopkins, Mr. Bliss, and Mr. Slevar answered. Mr. Slevar explained the commercial area was designed as "plug and play" to be flexible since they don't know what tenants will rent space. Mr. Bliss anticipates companies like small coffee shops, not drive thru businesses. In response to Ms. Conhiser-Uy's question, Mr. Slevar stated that the materials can be pulled very tightly together to reduce the effects of weathering.

Ms. Colucci inquired about their proposed lighting. Based on neighbors' input on past projects, Mr. Bliss proposed down lights and ribbon lights. This lighting will be strong enough for safety and will highlight the beauty of the structure. Ms. Colucci then asked why the main entrances on each side of the building were different in style. Mr. Slevar explained that the entrance on Maple Road is brighter to match the look on the public road. The residence's entrance is wider and the adjacent area is too small to fit another window. Mr. Hopkins pointed out the signs will be subject to permits later in the process. Ms. Colucci noted that the entrances matching would be better but appreciated that the commercial and tenant entrances looked equally nice.

Mr. Talty noted the townhouses in the north are much more traditional than the more exciting design of the multifamily buildings - especially their rooflines. He considered if the site should have consistency in not only materials but also in design. Mr. Hopkins explained the different design is due to the transition between the commercial street in the south to the traditional residences in the north. Even the garages are designed to look nice to match the northern neighbors.

Ms. Conhiser-Uy agreed that the language between the townhouses and multifamily buildings are notably different. She also added that the townhouses seem to flow into each other so much that they are hard to tell apart, especially in the back. Normally, townhouse units are quite distinct from each other. They look good but a change in the roofline should be considered. Mr. Talty added that differentiation in windows could help as well. Mr. Bliss did not want to make each house a different color and the Board agreed. Mr. Slevar and Mr. Hopkins stated they could take this input into consideration.

Regarding public spaces, Mr. Talty inquired about how publically accessible the open spaces would be. Mr. Bliss explained that they will be open to the public but they must balance it with some privatization. For example, the courtyard at the last project was a wind tunnel. They constructed a wall to break the winds but it made the area seem less inviting. Also, they don't want the space to encourage bad actors. The open spaces will include pleasant landscaping. In addition, Mr. Talty noted that public art should be included in those areas which could be combined with amenities like bike racks. Mr. Bliss stated they will install benches, bike racks, and maybe even EV stations during site plan review. Mr. Hopkins stated they will expand on this later in the process.

Mr. Black noted that he was disappointed by the last submission and the sheer size of the building along Maple Road. However, he appreciated that the petitioners considered and implemented the Board's comments. The design of the building is substantially better and viewing the proposed materials was informative. Ms. Conhiser-Uy agreed the building was a

massive wall along the road but the new design did help visually break it up and make it more appealing.

Application Checklist Review:

The Board reviewed the Application Checklist to determine the application's adherence to the Design Guidelines and had the following comments and/or recommendations for each section:

A-1 - Pedestrian Access and Connectivity:

Mr. Giuliani acknowledged there are no nearby public places and the project essentially is a block.

A-2 - Outdoor Amenity Space:

Mr. Giuliani noted the openness of the design and Mr. Hopkins added the courtyard on Maple Road connected the site to the public space.

A-3 - Bicycle Amenities:

Mr. Giuliani stated they will have to add bike racks.

A-4 - Public Art:

Mr. Hopkins reiterated that the project will address this later.

A-5 - Site Landscaping:

Mr. Sheedy explained that the area is relatively flat and that there will be several areas to collect water. Most of the trees will have to be removed in demolition but they will preserve what they can. To compensate, they plan to plant at least nineteen species of trees as well as other native bushes and grasses. Mr. Hopkins added they will follow DEC determinations as well.

A-6 - Sustainable Features: No comments.

A-7 - Residential Transitions:

Mr. Giuliani recognized they accomplished this with the design of the northern townhouses.

B-1 - Façade: No comments.

B-2 - Entryways:

Mr. Giuliani noted the several main entranceways, all of which satisfied the requirements.

B-3 - Windows: No comments.

B-4 - Roofs and Architectural Details:

Mr. Sheedy detailed the setback of the multifamily buildings from the public road based on code and the Design Guidelines. Mr. Giuliani, based on the last project, expects the petitioners to install good lighting.

B-5 - Street Level Interest: No comments.

B-6 - Sustainable Building Features:

Mr. Hopkins stated they will use the most efficient features per the code.

B-7 - Building Materials:

Mr. Giuliani acknowledged that the materials seem durable.

C-1 - Open Space:

Mr. Bliss reiterated that they want to balance openness to the public with security. The uses of these areas are not yet determined. He is considering a dog park or a place for bocce ball. He does not intend to install amenities for loud activities like pickle ball.

C-2 - Sidewalk:

The sidewalks will be discussed more later in the process. Mr. Sheedy noted any amenities will be along the inner local and core streets, not in the space between the buildings and Maple Road.

C-3 - Curb Zone: No comments.

The Board then took public comment.

There were no comments made.

Recommendations:

The Board then reviewed their recommendations to the Planning Board.

1. That final site plan identify furnishings for outdoor amenity spaces.
2. That final site plan include bicycle rack(s) on the east side of the mixed-use building.
3. That final plan indicate proposed locations and nature of public art.
4. That the final site plan be revised to replace the proposed white vinyl fence with a high quality wood fence.
5. That the final site plan include streetscape amenities along the proposed local street.

Mr. Talty moved that the proposed site and building design recommendations will adequately address the Town's Design Guidelines for Mixed-use Development. The motion was seconded by Mr. Black and carried. Ayes 5, Noes 0, Abstain 0, Absent 0.

MISCELLANEOUS

None.

OTHER COMMUNICATIONS

None.

UNFINISHED BUSINESS

None.

MINUTES APPROVAL

August 24, 2023

Mr. Black moved to approve the minutes. The motion was seconded by Ms. Colucci and carried. Ayes 5, Noes 0, Abstain 0, Absent 0.

ADJOURNMENT

The Design Advisory Board meeting of September 28, 2023 was adjourned at 7:06 pm.



6790 Main Street, Suite 100 • Williamsville, New York 14221
716-204-2910

September 19, 2023

Gary Polumbo, Planner
Town of Amherst Planning Department
5583 Main Street
Williamsville, NY 14221

Re: Updated Project Submission
DAB Application for 1760 Maple Road [SP-2023-06]
Applicant: PB Investors LLC c/o Paul Bliss

Dear Mr. Palumbo,

Attached please find updated submission materials for the above-referenced proposed project at **1760 Maple Road**. The following are included:

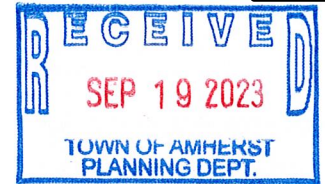
- An updated *Application for Design Review*, including brief responses to specific comments received from the Town Architect in memorandum, dated September 7, 2023. These additions are included in italics and bearing today's date (9/19).
- Full-length responses to specific comments received in the above memorandum as a letter from the design architect, Brian Sleva of Carmina Wood Design. The original comments are reproduced in the letter for ease of reference.
- Updated design elevations for each building (A-500, A-501, A-502, A-503).
- Context photos of adjacent and nearby existing structures (A-504).
- Updated site and landscape plans, incorporating revisions in response to both the Town Architect's and Planning Department's reviews (C-100, L-100).

If you have any questions or concerns previous to the scheduled meeting of the Design Advisory Board on September 28, please feel free to contact me directly.

Sincerely,

Paul Bliss

Attachment: Design Review Application SP-2023-06 (28012 : SP-2023-06, 1720, 1740, 1760 Maple Rd., PB Investors, LLC)



TOWN OF AMHERST PLANNING DEPARTMENT

Application for Design Review

For Official Use

File #: SP-2023-06

Design Review

Materials Received by
Planning Department

RB

RECEIVED BY

9-19-2023

DATE

Scheduled Design Advisory Board
Meeting Date:

9-28-2023

DATE

To Be Completed By Applicant

Petitioner:

Name: PB Investors, LLC c/o Sean Hopkins, Esq.

Address: 5500 Main Street, Suite 343

Williamsville

New York

14221

City

State

Zip Code

Phone: 716-510-4338

Fax: _____

E Mail: shopkins@hsmlegal.com

Representative (Architect, Engineer, Landscape Architect, Surveyor, or Attorney):

Name: Patrick Sheedy Jr, PE and Brian Slevar, AIA

Address: Carmina Wood Design

487 Main Street, Suite 500

Buffalo

New York

14203

City

State

Zip Code

Phone: 716-842-3165

Fax: _____

E Mail: psheedy@carminawooddesign.com & bslevar@carminawooddesign.com

Owner (if different):

Name: _____

Address: _____

City State Zip Code

Phone: _____ Fax: _____

E Mail: _____

GENERAL DESIGN INFORMATIONProject Site Address: 1720, 1740, 1760 Maple Road Williamsville, NY 14221Project Site Mixed-Use Zoning District Designation: Deep Corridor 5 (DC-5)

Project Description: _____

The proposed mixed-use redevelopment project ("action") consists of a rezoning of the approximately 5.1 acre site consisting of 1720, 1740 and 1760 Maple Road ("Project Site") that is zoned Deep Corridor 5 ("DC-5") to accommodate a proposed mixed-use redevelopment project including all proposed site improvements. The proposed action has been defined broadly to include all required discretionary approvals and permits as well as all proposed site improvements including a proposed four-story mixed-use building, proposed four-story multi-family building, two 2-story townhouse buildings with attached garages, detached garage buildings, access aisles and parking spaces, landscaping, lighting, storm water management improvements and all required utility improvements.

Square Footage of existing structure(s): n/aSquare Footage of proposed structure(s): 54,860 gsf (mixed use), 84,820 gsf (multi-family) & 21,770 gsf (townhouse bldg's)Existing number of residential units: 0Proposed number of residential units: 107 multi-family & 11 townhomes

What are the project impacts on existing Neighborhood Character: _____

The proposed mixed-use redevelopment project will be compatible with the character of the existing neighborhood in the vicinity of the Project Site that includes commercial uses on Maple Road and residential on Brush Creek Lane. The project layout reflects a deliberate effort to appropriately transition from commercial uses along Maple Road to the proposed four-story buildings, then two-story townhomes and garages near the northern portion of the Project Site, then greenspace with landscaping on the northernmost portion of the Project Site.

How will the project enhance the public space: _____

The proposed mixed-use redevelopment project will enhance public space by providing opportunities for the tenants and residents to walk to numerous nearby commercial uses. The Project Site currently consists of vacant land with no opportunities of public access.

HOW TO USE THE CHECKLIST:

This checklist is meant to be used as a tool to aid in providing a thorough and complete application for Design Review. It is meant to be used by the applicant to track and explain which design guidelines apply to the project, and for those that do apply, what design technique is being employed to meet or exceed the proposed guidelines.

The format of the checklist is the following:

Guideline Topic: The corresponding category of topic, as represented in the Design Guidelines table of contents.

Intent: The intent of the set of guidelines for that guideline topic.

Page #: Corresponding page in the Design Guidelines

Recommendation #: The specific guideline reference in the Design Guidelines.

Recommendation Description: Description of the recommendation

Brief Description of how the guideline is achieved: The applicant is urged to include specific references in the submittal materials (i.e. references to plan page number, calculations, descriptions, etc.). Please provide additional pages as necessary.

Shaded Areas for Official use only

SITE DESIGN GUIDELINES:

A-1. PEDESTRIAN ACCESS AND CONNECTIVITY

Intent Statement: Pedestrian access and connectivity within a site should enhance walkability throughout the site and to adjacent sites, promote safety and provide clear connections to the public realm.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
4	A-1a	Establish a continuous internal walkway system throughout the site.	proposed internal sidewalk throughout project.	
4	A-1b	Provide a physical pedestrian connection between the site and nearby public space.	proposed sidewalk connects project site and existing public sidewalk along north side of Maple Road.	
4	A-1c	Provide public pedestrian access through a block.	proposed internal sidewalk and sidewalk connection to Maple Road provides access to entire project site.	

A-2. OUTDOOR AMENITY SPACE

Intent Statement: Although opportunities will vary by site, projects should incorporate amenity spaces, where required, into the design. Courtyards, plazas, playgrounds, outdoor dining areas and other amenity spaces provide opportunities to gather and engage in activities for both the general public and residents of the development. When located adjacent to the public realm, these features activate and enhance the pedestrian experience.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
5	A-2a	Locate and program an amenity space to receive regular use.	outdoor amenity spaces are labeled accordingly on site plan drawing C-100 and located for ease of access on site.	
5	A-2b	Place amenity space so that it is connected to the public realm.	proposed sidewalk connection to Maple Road provides access to entire project site.	
5	A-2c	Designs should not appear to privatize the space.	outdoor amenity spaces will be for onsite tenants/residents.	

A-3. BICYCLE AMENITIES

Intent Statement: Providing bicycle amenities such as parking facilities and repair stations promotes the use of active transportation methods which help improve the safety, health and experience of community residents.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
6	A-3a	Provide connections to existing or planned bike paths.	there are no existing or planned bike paths in the vicinity of the project site.	
6	A-3b	Incorporate bicycle amenities into site designs.	public bike racks are proposed at various building entry points.	

A-4. PUBLIC ART

Intent Statement: Public art includes decorative and functional features that are accessible or visible to the public. These may include sculptures, landscaping elements, or street furniture (benches, bike racks, or other functional features with an original design). Public art enhances the pedestrian experience and should be integrated into a project as a design amenity.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
7	A-4a	Encourage the inclusion of public art in a project.	The project sponsor is open to including public art.	

A-5. SITE LANDSCAPING

Intent Statement: Landscaping can enhance a project by providing visual interest, tying together key site features, providing shade, screening areas from public view and providing buffers between properties. It can also help soften the urban environment and visually enhance the public realm. The guidelines in this section go beyond the requirements of the Zoning Ordinance and are in addition to the requirements of Chapter 203-7-2.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
8	A-5a	Preserve existing viable, healthy and attractive trees.	existing trees to be preserved are labeled as such on the Landscape Plan [Drawing L-100]	
8	A-5b	Incorporate into the project's stormwater management system through the use of Low-Impact Development and other green infrastructure approaches.	bioretention areas are proposed to be incorporated into the site's greenspace as a green infrastructure stormwater treatment method.	
8	A-6c	Use a coordinated landscape plant and materials palette to establish a sense of continuity within the project.	all proposed plantings will be native species to the project site and surrounding areas.	
8	A-5d	Choose appropriate tree and plant species.	all proposed tree and plant species will be compliant with Town standards.	

A-6. SUSTAINABLE FEATURES

Intent Statement: Each site design should create opportunities to contribute to a sustainable future for Amherst. Incorporate sustainable features that help reduce energy and water consumption, improve stormwater management, and create an overall healthy environment.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
9	A-6a	Integrate Low-Impact Development (LID) features throughout the site to minimize impacts to the municipal stormwater system and area watersheds.	on site stormwater management system is designed to discharge stormwater runoff below existing rates for the project area.	
9	A-6b	Use landscaping to reduce heating and cooling needs.	n/a	

A-6. SUSTAINABLE FEATURES (cont.)

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
9	A-6c	Include materials and natural features that conserve and promote wildlife habitat and local biodiversity.	all proposed plantings will be native species to the project site and surrounding areas.	
9	A-6d	Reuse site or construction materials.	project site is currently vacant.	

A-7. RESIDENTIAL TRANSITIONS

Intent Statement: Residential transitions, where required in Section 5A-5, should focus on minimizing the impact of new development and site activity on adjacent protected districts.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
10	A-7a	Take into consideration the project's building and site elements that are located near the residential transition.	a proposed greenspace buffer delineates the project site and existing neighboring residences along the northern property boundary.	
10	A-7b	Use wall and fence materials that can be maintained to last as long as the principal building.	proposed fencing delineating the neighboring residences will be a 6' tall white vinyl fence.	
10	A-7c	Use colors that match or complement the principal building or are subdued and blend in with the natural environment.	all colors used on site will compliment all proposed building materials and the surrounding environment.	

BUILDING DESIGN GUIDELINES:

B-1. FAÇADE

Intent Statement: The façade of a building should be appropriate to the style and character of surrounding buildings, the site, and the general character of the surrounding community.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
11	B-1a	Design the building to incorporate a “base, middle and cap” to divide the façade into separate components, that produce well defined ground or lower floors and a distinctive “cap “ element framing the middle floors, especially on taller buildings.	We have established a varying base along the length of each building and feature a varying cornice/cap of shape and material. <i>(9/19) Per Town Architect review: identified features that emphasize components of cap element, while maintaining cohesive building design.</i>	
11	B-1b	On larger building frontages, implement a variety of façade treatments to provide visual distinction, variety, and the appearance of multiple structures to break up the facades.	we have a varied facade with multiple details and colors. We are also using different materials. <i>(9/19) Per Town Architect review: attachment method for all panels will be concealed fasteners and low-profile butt joints.</i>	
11	B-1c	Arrange elements on the façade (e.g. windows, doors, canopies, etc.) to create a generally consistent rhythm and overall visual interest.	we have regularly places windows and doors. <i>(9/19) Per Town Architect review: finishes for door and windows will be black, with minimal tint and color on glass</i>	

B-2. ENTRYWAYS

Intent Statement: Entryways should be well-identified and provide a welcoming experience for those utilizing them, while contributing to the overall style and character of the building.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
12	B-2a	Doors and entryways should be of a style, scale, and coverage appropriate to the overall architectural style of the building.	the mixed use building will have storefront entrances with multiple entry points. <i>(9/19) Per Town Architect review: further emphasized entrances beyond examples in Design Guidelines (p.12)</i>	

B-2. ENTRYWAYS (cont.)

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
12	B-2b	The primary entrance of a building should be clearly identifiable.	the mixed use building will have storefront entrances with multiple entry points. (9/19): <i>see previous</i>	
12	B-2c	Incorporate accessibility into primary entrances without the need for switchbacks or railings.	Buildings are fully accessible without the need for switchback ramps or railings.	
12	B-2d	Commercial buildings should have a transparent primary entrance.	the mixed use building will have storefront entrances with multiple entry points. (9/19): <i>see elevations for transparencies achieved</i>	

B-3. WINDOWS

Intent Statement: Window design and arrangement should express a human scale. Where compatibility with adjacent building character is important, use windows to create visual continuity with the existing character and provide visual interest.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
13	B-3a	Windows should be of a scale and proportion appropriate to the overall architectural style of the building and in character with the window sizes of adjacent building and sites.	we have regularly places windows that are of correct scale and proportion to the building massing. (9/19) <i>Per Town Architect review: included context photos for existing adjacent reference buildings</i>	
13	B-3b	Locate windows to create visual continuity.	we have regularly places windows.	
13	B-3c	Window openings should be trimmed with an appropriate material.	windows are framed out by fiber cement panels with metal closures. (9/19): <i>see context photos</i>	

B-4. ROOFS AND ARCHITECTURAL DETAILS

Intent Statement: These crucial components of a building's façade and massing should complement and enhance the overall building composition. The use of these details should be kept consistent with buildings of a similar architectural style, but should also help create a unique identity for the structure. An appropriate amount of architectural detail should be used.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
14	B-4a	Architectural details such as overhangs, cornices, eaves and parapets, should complement the architectural style of the building and its surrounding context.	the main building has a flat roof with several different heights to break up the length of the building. Overhangs and parapets match the style of the building. Townhomes have a pitched roof with multiple gables and overhangs. (9/19): <i>incorporated features to reflect context</i>	
14	B-4b	Rooflines should be in character with the overall style of the building.	rooflines are varied and match the overall style of the building.	
14	B-4c	Cornices should be used to differentiate and enhance the vertical composition of the façade.	(9/19) <i>Per Town Architect review: provided facade features similar to those provided as examples in the Design Guidelines (p.14)</i>	
14	B-4d	Building stories, cornice lines and other horizontal elements should be generally consistent with adjacent buildings to help provide a rhythm to the streetscape.	proposed designs are consistent with each other and take site line opportunities from Maple Road. (9/19): <i>included lower-story datum and cornice lines that pick up on adjacent buildings; see photos</i>	
14	B-4e	Varying the building placement (setback from the street) on a large building helps break up the block and reduce the impact of long buildings on the streetscape.	the facade of the mixed use building and inclusion of residential patios creates varying distances from the building to the sidewalk/curb zone.	
14	B-4f	Architectural lighting may be used to enhance specific elements of the building.	we intend to have downlighting to highlight certain elements of the building. (9/19): <i>applicant will comply with all guidelines for lighting</i>	

B-5. STREET LEVEL INTEREST

Intent Statement: The character of a building's ground floor strongly impacts the pedestrian experience. The ground floor of a building should be designed to generate activity, animate the sidewalk and help establish a visual/physical connection between the inside of the building and the adjacent outdoor area.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
15	B-5a	Design a building to provide interest at the street level adjacent to the public realm.	<i>(9/19) Per Town Architect review: clarified entrance prominence over residences; emphasized retail entrances to differentiate use</i>	
15	B-5b	Incorporate landscaping along the ground floor of the building.	landscaping proposed around the ground floor of the mixed use, multi-family and townhouse buildings as shown on the Landscape Plan [Drawing L-100]	

B-6. SUSTAINABLE BUILDING FEATURES

Intent Statement: Buildings should incorporate sustainable features that help reduce energy consumption, reduce water use, and contribute to a more sustainable environment.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
16	B-6a	Should seek to reduce water usage and reuse water with the building.	project plans to use water conservation fixtures such as 1.5 gpm shower heads, 1.6 gpf water closets, and 1.2 gpm bath faucets as examples.	
16	B-6b	Should seek to reduce energy use and generate energy on-site.	all buildings will incorporate LED lighting and use energy efficient appliances. <i>(9/19): identified passive thermal strategies in the design</i>	

B-7. BUILDING MATERIALS

Intent Statement: Building materials should evoke the character, style and purpose of the structure. Each building façade should use high-quality, durable materials that contribute to the visual continuity of the building's character. They should be consistent with those used traditionally in the surrounding area, however, materials with new and innovative materials may also be appropriate, especially in Retrofit Districts.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
17	B-7a	Use high quality, durable building materials.	we propose fiber cement paneling and siding, aluminum composite panels, and brick. All are durable and high quality. (9/19): <i>no aluminum panels</i>	
17	B-7b	Use responsibly-sourced and long-lasting building materials.	all products used are long lasting, sustainable products.	
17	B-7c	Any side or rear wall facing a street, residential district or public area must consist of the same finish materials as the primary façade.	we are consistent on all elevations.	
17	B-7d	Decorative masonry materials (such as split face and textured finish blocks) are discouraged but may be considered an acceptable façade material at the discretion of the Planning Board.	no decorative masonry is proposed.	
17	B-7e	Exterior finishing materials for renovation, additions and rehabilitations should be consistent with those being retained on the existing structure.	there are no existing structures on the project site.	
17	B-7f	Exterior Insulation Finish System (EIFS) should not be utilized as a primary building material, but may be utilized, at the discretion of the Planning Board, as a decorative or complementary material on upper stories only.	no EIFS proposed.	

PUBLIC REALM GUIDELINES:

C-1. OPEN SPACE

Intent Statement: Open space is a public outdoor area provided for social and recreational use. Examples of open space include parks, parklets, greenways, trails, playgrounds, gardens and more. Open space is required in the Retrofit Districts.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
18	C-1a	Open spaces should ideally be centrally located.	due to site constraints and required drive lanes/parking, the open spaces are proposed along the south and northwest portions of the project site.	
18	C-1b	Open spaces should contribute to an existing or planned open space or greenway network when possible.	no existing or planned open space or greenway network exists around the project site.	
18	C-1c	Open spaces should be easily accessible by everyone.	proposed open spaces are easily accessible on site.	
18	C-1d	Open spaces should be designed to be proportionate in scale to their surrounding context.	proposed open spaces are proportionate to the proposed development.	
18	C-1e	Existing natural features and systems should be utilized or highlighted in the design of an open space.	where possible, existing trees and vegetation is preserved. Mainly along the west boundary within the Town Ditch limits	
18	C-1f	Open spaces should be programmed in ways that allow for a variety of uses.	open spaces will be used by onsite tenants and residents for a variety of uses.	
18	C-1g	Incorporate pedestrian and bicycle amenities such as seating, trash receptacles, drinking fountains, bicycle parking, and pedestrian-scaled lighting.	lighting and bicycle parking are proposed within the curb zone and near building entrances.	

Attachment: Design Review Application SP-2023-06 (28012 : SP-2023-06, 1720, 1740, 1760 Maple Rd., PB Investors, LLC)

C-2. SIDEWALK

Intent Statement: Design sidewalks to enhance the pedestrian experience. A well-designed sidewalk increases walkability and safety, and helps to connect ground floor activities to the public realm.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
19	C-2a	Coordinate building elements such as furnishings, overhangs, lighting and signs to create an engaging sidewalk space.	attractive commercial tenant signage will be proposed on the mixed use building.	
19	C-2b	Sidewalk elements should be scaled according to their context, including the intensity of activity, building heights and noise levels.	proposed sidewalk is based on Town design standards.	
19	C-2c	Locate exterior uses and amenities to support and connect to interior activities.	bicycle parking and outdoor amenity space are located for ease of access from all proposed buildings.	
19	C-2d	Use surface materials that complement the architecture and character of the area.	proposed sidewalk materials will be standard concrete typically used in the region.	

C-3. CURB ZONE

Intent Statement: The curb zone is the area between the back-of-curb and the sidewalk where landscaping and streetscape amenities should be placed so that they can contribute to the pedestrian experience.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
	C-3a	Streetscape amenities may be placed in the curb zone with approval of the Town or other regulating agency with jurisdiction.	proposed streetscape amenities are based on Town design standards.	
	C-3b	Trees and other landscaping should be planted within the curb zone.	street trees proposed within the curb zone as shown on the Landscape Plan [Drawing L-100]	

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CARMINAWOOD DESIGN

MEMO

September 19, 2023

Gary Palumbo, Planner
Town of Amherst Planning Department
5583 Main Street
Williamsville, NY 14221

Re: Updated Project Submission
DAB Application for 1760 Maple Road [SP-2023-06]
Applicant: PB Investors LLC c/o Paul Bliss

Dear Mr. Palumbo:

This letter and the enclosed updated plans are being submitted on behalf of PB Investors, LLC for the purpose of responding to the comments in the Memorandum prepared by Anne Dafchik of the Town of Amherst dated September 7th based on her review of the DAB Application for the proposed mixed-use project at 1720, 1740 and 1760 Maple Road (the "Project Site").

The enclosed updated plans consist of the following:

Sheets A-500, A-501, A-502, A-503, and A-504

The responses to the comments (reproduced in *italics*) provided below shows the manner by which the proposed mixed-use project addresses the cited sections of the Design Guidelines for Mixed-Use Districts dated November of 2019.

BUILDING INSPECTION

B-1a. *The townhomes appear to have well defined base, middle and top / caps. The mixed-use multi story structure has well defined base and mid-section, but the "cap" is still not well defined. This was mentioned previously in the preliminary review.*

Response: The design of the proposed mixed-use building addresses the Design Guidelines regarding a "cap" by providing several features that relate to each of the varied façade conditions beneath, and to each other. At the sections of darker exterior material, an angled overhanging cornice caps and frames the features below. At the sections of lighter exterior materials, a solid band of siding and interruptions of the continuous vertical balcony recesses imparts a continuous horizontal mass above the more segmented façade below, capping the "middle" elements in these areas. A simple cornice line bridges any gaps between these two material schemes at the roof line.

B-1b. *The fiber cement paneling and gray brick are noted but without further detail such as attachment or joinery methods. It is still unclear which type of brick is proposed. Additionally, the "plank" style siding shown within the "towers" appear to be neither panels nor brick and should be clarified.*

Response: We will be bringing material samples to the DAB meeting to be held on September 28th including all configurations of the fiber cement panels. Attachment of fiber cement panel siding will be by concealed tracks attached to sheathing, with concealed fasteners and minimal trim. All brick shown will be full-unit veneer brick "Plank" identified is fiber cement panel in a linear configuration.

B-1c. *Generally doors and windows meet the intent of this guideline. Additional information is needed regarding window, door and glazing materials / tint / colors.*

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Response: We will provide samples for window frame finishes. The Design Guidelines offer no specific direction for tint or color, but the intent of the guidelines is to provide minimal tint/color in the window glazing.

B-2a. Building entrances on 1/A501 appear insignificant and lack definition. The only defining feature is the street number and street name signage over the door. Building entrances on 1/A502 and 4/A502 are either missing from the drawing and/or not labeled.

Response: Design documents have been coordinated and all entrances appear where indicated. The design of the building entrances provides more architectural emphasis than is depicted in the photos used as examples on Page 12 of the Mixed-Use Design Guidelines. Each entrance features a significant recess and canopy as well as upscale signage and a sidewalk approach within the greenspace. The several entrances to the commercial tenant spaces facing the parking lot are intended to be evident upon direct approach.

B-2b. While the mixed use building has multiple entry points, the entry points facing the primary street are only defined by signage and not architectural language or design. This would be a good opportunity to use a variety of building materials or color(s) on the balconies above the entrances to really make it clear to building visitors where primary street entrances into the building are located.

Response: The proposed design of the residential building provides more architectural emphasis than is shown in the photos used as examples in the Design Guidelines. Each entrance features a significant recess and canopy, as well as upscale signage and a sidewalk approach within the greenspace.

B-2c. Applicant appears to have met the intent of this guideline.

Response: Noted.

B-2d. Commercial buildings should have transparent primary entrance. It is unclear if Zoning 5A-2-3 General Frontage requirements have been met for transparency percentages. Additionally, it appears that the transparency percentage for the residential side-street sides of the townhomes have not been met.

	Primary Street	Side Street
TRANSPARENCY		
E Ground story	20% min	20% min
Residential	20% min	20% min
Non-residential	50% min	30% min
F Upper story	20% min	20% min
G Blank wall length	20' max	30' max
PEDESTRIAN ACCESS		
H Street-facing entrance	Required	n/a
I Entrance spacing	50'	75'

Response: Transparency percentages have been provided on the updated Elevation Plans. The proposed design features maximized glazing along the Maple Road retail frontage. Residential side street facades have been opened to offer a window configuration.

B-3a. Unable to evaluate. Applicant should provide contextual drawings to show fulfillment of this guideline.

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Response: See context photos of adjacent projects provided with the most recent submission. There is not a predominant architectural style on the adjacent building and sites.

B-3b. *Windows have been located in such a way to create visual continuity.*

Response: Noted.

B-3c. *Aluminum storefront noted at commercial level, but residential level window openings need material to be defined. See commentary on B-1c.*

Response: Windows are “trimmed” as punched openings in cementitious material, similar to the design of the adjacent commercial building located at 1860 Maple Road.

B-4a. *Generally, the townhome overhangs and cornices are simple, but appropriate for their intended building usage. The architectural style of the eaves and parapets on the mixed-use building are still not well defined. This was previously mentioned in the preliminary design review.*

Response: Section B-4a of the Design Guidelines does not state these features are required to be well-defined. The proposed design does feature roof lines and parapets that “complement the architectural style of the building and its surrounding context,” as indicated. See photos submitted in the most recent submission.

B-4b. *Rooflines are appropriate with the overall style of the buildings.*

Response: Noted.

B-4c. *Cornices are not well defined. Although the vertical composition of the mixed-use building has “character” and variation, it is not clear what those materials, depths or details are proposed to be.*

Response: Section B-4c of the Design Guidelines does not state these features are to be well-defined. The proposed design does feature cornice lines that clearly “differentiate and enhance the vertical composition of the facade” as indicated and are similar to those provided as examples depicted on Page 14 of the Design Guidelines. All materials shown on these features are to be fiber cement panels.

B-4d. *Unable to evaluate. Applicant should provide contextual drawings to show fulfillment of this guideline.*

Response: Existing buildings in the immediate vicinity of the proposed project are limited, so opportunities for creating streetscape rhythm are marginal. Nevertheless, the proposed design relies on several façade features like lowered datum and cornice lines to signal the lower nearby structures, while offering other features higher on the buildings. See provided photos submitted in the most recent submission for adjacent context.

B-4e. *It appears that since the preliminary review, the applicant has made an attempt to offer some variation in set-backs of planes along the primary façade of the building.*

Response: Noted.

B-4f. *Unable to evaluate. Applicant should provide additional information or drawings to show fulfillment of this guideline.*

Response: The Applicant will comply with the architectural lighting criteria in Section B-4f of the Design Guidelines for all building lighting.

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B-5a. *The building design is rather formulaic and predictable. If the intent of this guideline is to create visual interest at street level adjacent to the public realm, the building alone leaves lots of opportunity for improvement. The landscaping may be a useful way to help create some visual interest, especially some that helps define entrances. A simple change at a few key points from crabapple trees to something that “anchors” or “landmarks” the entrances will help create a visual cue for pedestrian access points.*

Response: Differences in materials and opening heights at the retail portion of the mixed-use building to be located along Maple Road should direct interest to those areas of the public realm, with a landscaped courtyard between the two building types are meant to further signify this distinction. Landscaping related comments will be addressed in connection with an updated Site Plan submission. During a meeting that Patrick Sheedy, P.E. and Sean Hopkins, Esq. attended with Daniel Howard, Daniel Ulatowski and Scott Marshall of the Planning Department on Friday, September 15th, the Planning Department requested that crabapple trees be replaced with another tree type and this input will be provided to Robert Walter, the project Landscape Architect.

B-5b. *Applicant appears to have met the intent of this guideline. The proposed crabapple trees and shrubs will assist with some of the visual interest at street level in B-5a.*

Response: Noted.

B-6a. *Applicant states in their application materials they intend to meet the minimum water consumption standards.*

Response: Noted.

B-6b. *Applicant states in their application materials they intend to meet the minimum standards for lighting and energy efficient appliances. Applicant has not shown any additional energy reduction or on-site energy generation strategies.*

Response: Several passive strategies are employed in the building design as follows:

- The building massing is primary south-oriented, benefiting from a high solar heat gain during heating degree days.
- Cementitious exterior materials provide thermal mass, reducing the volatility of heating and cooling loads.
- Large windows on many upper floor residential units increase daylighting on the south façade.

B-7a. *In the initial application, the applicant noted use of fiber-cement paneling and siding, aluminum composite panels and simulated brick. The DAB noted that the simulated brick was not clear. The final application changed the language from simulated brick to brick, which is acceptable. However, both initial and final applications note the use of aluminum composite panels, yet they are not noted on the architectural drawings. Reveal joints or attachment methods for cladding can change the appearance of a building and it is recommended that applicant be prepared to discuss or document details for fiber cement and aluminum panels.*

Response: There is to be no application of aluminum composite panels in the proposed design.

B-7b. *No exception taken.*

B-7c. *Applicant appears to have met the intent of this guideline.*

B-7d. *Applicant appears to have met the intent of this guideline.*

B-7e. *No exception taken.*

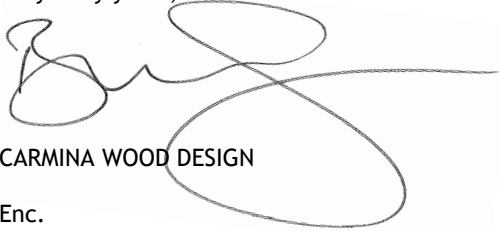
B-7f. *Applicant appears to have met the intent of this guideline.*

Response: Noted.

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Please feel free to contact me with any questions in advance of the upcoming meeting of the Town of Amherst Design Advisory Board to be held on Thursday, September 28th at 6:00 p.m.

Very truly yours,



CARMINA WOOD DESIGN

Enc.

cc: Scott A. Marshall, Principal Planner
Anne Dafchik, Town of Amherst Architect
Patrick Sheedy Jr., P.E.
Sean W. Hopkins, Esq.
Paul Bliss, PB Investors, LLC

Attachment: Design Review Application SP-2023-06 (28012 : SP-2023-06, 1720, 1740, 1760 Maple Rd., PB Investors, LLC)



REVISIONS:	
No.	Description Date



PROJECT NAME: _____

Concept Documents for:

Mixed Use Development

1760 Maple Drive
Amherst, New York

Issued for Approval: 09.19.2023
 Drawn By: BJS
 Checked By: BJS

DRAWING NAME:
Exterior Perspectives

DRAWING NO.

A-500

Project No: 22.015



1 MAPLE ROAD ELEVATION
A-501 SCALE: 3/32" = 1'-0"

Total Upper: 12551sf x 20% = 2510.20sf Required Upper Floor Transparency = 3904.42sf or 31.11% Provided
Total Ground: 2876sf x 20% = 575.20sf Required Ground Floor Transparency = 1079.56sf or 37.54% Provided



2 COURTYARD ELEVATION
A-501 SCALE: 3/32" = 1'-0"



3 WEST ELEVATION
A-501 SCALE: 3/32" = 1'-0"

Total Upper: 2972sf x 20% = 594.40sf Required Upper Floor Transparency = 345.00sf or 11.61% Provided
Total Ground: 681sf x 20% = 136.20sf Required Ground Floor Transparency = 115.00sf or 16.89% Provided



4 PARKING LOT ELEVATION
A-501 SCALE: 3/32" = 1'-0"

REVISIONS:		Date
No.	Description	



PROJECT NAME:
Concept Documents for:
Mixed Use Development
1760 Maple Drive
Amherst, New York

Issued for Approval: 09.19.2023
Drawn By: BJS
Checked By: BJS

DRAWING NAME:
Building 1
Exterior Elevations

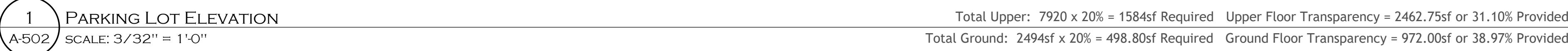
DRAWING NO.

A-501

Project No: 22.015

Packet Pg. 26

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REVISIONS:	
No.	Date



PROJECT NAME: Concept Documents for:
Mixed Use Development
1760 Maple Drive
Amherst, New York

Issued for Approval:	09.19.2023
Drawn By:	BJS
Checked By:	BJS

DRAWING NAME:
Building 2
Exterior Elevations

DRAWING NO.

A-502

Project No: 22.015



PARKING LOT ELEVATION

SCALE: 3/32" = 1'-0"

Total Upper: 1570sf x 20% = 314.00sf Required Upper Floor Transparency = 421.84sf or 26.87% Provided

Total Ground: 1570sf x 20% = 314.00sf Required Ground Floor Transparency = 421.80sf or 26.87% Provided



END ELEVATIONS

SCALE: 3/32" = 1'-0"

Total Upper: 332sf x 20% = 66.40sf Required Upper Floor Transparency = 35.16sf or 10.59% Provided

Total Ground: 332sf x 20% =66.40sf Required Ground Floor Transparency = 23.00sf or 6.93% Provided



NORTH ELEVATION

SCALE: $3/32" = 1'-0"$



No.	Description
-----	-------------

Date _____

PROJECT NAME:

Concept Documents for:

Mixed Use Development

1760 Maple Drive
Amherst, New York

Issued for Approval
Drawn By:
Checked By:

09.19.2023
BJS
BJS

DRAWING NAME

Townhome Exterior Elevations

DRAWING NO.

A-503

Project No: 22.015



REVISIONS:		
No.	Description	Date



PROJECT NAME:
Concept Documents for:
Mixed Use Development
1760 Maple Drive
Amherst, New York

Issued for Approval: 09.19.2023
Drawn By: BJS
Checked By: BJS

DRAWING NAME:
Context Buildings

DRAWING NO.
A-504

Project No: 22.015

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Site Data		
SITE AREA = 5.18 AC		
ZONED: DC - 5		
USE: PROPOSED 4-STORY MIXED USE BUILDING, 4-STORY MULTI-FAMILY BUILDING, 5 & 6 UNIT 2-STORY TOWNHOME BLDG WITH ATTACHED GARAGES		
SETBACKS - BUILDING		
FRONT	REQUIRED 5 FT	PROVIDED 12.11' MIN.
SIDE (< 3 STORIES) / > 3 STORIES	30 FT/60 FT	44.65' MIN. / 116.32' MIN.
REAR (< 3 STORIES) / > 3 STORIES	30 FT/60 FT	66.69' / 164.27' MIN.
ACCESSORY STRUCT.	20 FT	20 FT MIN.
SETBACKS - PARKING		
FRONT	10 FT	15.45' FT. MIN.
SIDE	N/A	> 30 FT.
REAR	N/A	> 90 FT.
TOTAL VEHICLE SPACES	143	149 + 41 GAR. = 190
BICYCLE	23	24
ELECTRIC VEHICLE STATION	2	2
GREENSPACE		
INTERIOR PARKING GREENSPACE:	5% (0.1 AC)	12.5% (0.25 AC)
OVERALL:	N/A	39% (2.0 AC)
MAX. BUILDING HEIGHT	5 stories / 75'	4 stories / 50'
OUTDOOR AMENITY SPACE	5% (0.26 AC)	5% (0.26 AC)

PARKING CALCULATION (per Section 5A-9-1-A)	
RETAIL SALES: (3,500 GSF)	
REQ'D: 2.5 per 1,000 sf	
REQ'D = (3,500 / 1,000) x 2.5 = 9 SPACES REQ'D	
OFFICE: (3,500 GSF)	
REQ'D: 2.5 per 1,000 sf	
REQ'D = (3,500 / 1,000) x 2.5 = 9 SPACES REQ'D	
APARTMENTS/TOWNHOMES:	
REQ'D: 1 space per 1/2-bdrm unit = 1 x 105 units = 105 spaces	
1.5 space per 3-bdrm unit = 1.5 x 13 units = 20 spaces	
REQ'D = 125 SPACES REQ'D	
TOTAL PARKING SPACES REQUIRED = 143 SPACES	
BICYCLE CALCULATION (per Section 5A-9-1-A)	
RESIDENTIAL:	
REQ'D: 0.5 per UNIT (20 max.)	
REQ'D = 0.5 x 118 = 59 therefore 20 SPACES REQ'D	
COMMERCIAL:	
REQ'D: 1 space per 3,000 sf	
REQ'D = 7,000 / 3,000 = 3 SPACES REQ'D	
TOTAL BICYCLE SPACES REQUIRED = 23 SPACES	
ELECTRIC VEHICLE CALCULATION (per Section 5A-9-1-D)	
1% OF TOTAL PARKING = 190 x 0.01 = 2 SPACES REQ'D	

- GENERAL NOTES:**
- INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 - SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 - WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 - CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 - CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
 - CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 - ALL OTHER PERMITS REQUIRED BY STATE OF NEW YORK, COUNTY OF ERIE, AND TOWN OF AMHERST ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER/OWNER.
 - EXISTING CURB AND REMOVAL OF EXISTING ENTRANCE SHALL BE SAW CUT FULL-DEPTH AND NEATLY REMOVED FROM THE BACKSIDE, EXISTING PAVEMENT SHALL NOT BE DISTURBED AND THE PAVEMENT EDGE SHALL BE USED AS FORM FOR PLACING NEW CURB.
 - SANITARY SEWER EASEMENTS SHOWN ARE APPROXIMATE BASED ON RECORD PLANS PROVIDED BY TOWN OF AMHERST ENGINEERING DEPARTMENT. SURVEYOR TO VERIFY LOCATION PRIOR TO CONSTRUCTION.

Site Plan

SCALE: 1"=30'

SITE NOTES:

- ALL RADII SHALL BE 3'-0" UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS: SHALL HAVE 4" MIN. OF TOPSOIL AND SEED.
- ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
- CENTER ENTRANCE SIDEWALKS ON DOOR OPENINGS.
- BUILDING DIMENSIONS ARE APPROXIMATE, REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
- ALL HANDICAP RAMPS (NOT WITHIN THE NYSOT R.O.W.) AND/OR SIDEWALKS FLUSH TO PAVEMENT SHALL HAVE ADA COMPLIANT TACTILE WARNING STRIPS WHERE ENTERING PARKING AREAS/DRIVEWAYS. SIDEWALKS FLUSH TO PAVEMENT WITHIN THE NYSOT R.O.W. SHALL ADHERE TO THE NOTES AND DESIGN REGULATIONS AS STATED ON NYSOT STANDARD SHEET 608-01.

NOTE LEGEND

- EDGE OF PAVEMENT
- RUNOUT CURB IN 'Z' OR MATCH EXISTING CURB
- INSTALL "NO PARKING" SIGN, M.U.T.C.D. SIGN NO. R7-1C
- LANDSCAPED AREA - SEE LANDSCAPE PLAN, IF NO PLANTINGS, INSTALL TOPSOIL & SEED
- 4" WIDE WHITE PAINT STRIPE @ 45' & 2' O.C., INFILL AREA AS SHOWN
- MATCH EX. PAVEMENT, SAWCUT AS REQ'D TO ACHIEVE SQUARE EDGE TO MATCH
- WALL PACK LIGHT, REFER TO LIGHTING PLAN LP-100
- BIKE RACK, BELSON OUTDOORS "U-RACK" OR APPROVED EQUAL
- 2' CUT OUT IN CURBING
- 6' HT. WHITE VINYL FENCE
- ELECTRIC VEHICLE CHARGING STATION

SITE LEGEND

- PROPERTY LINE
- PROPOSED SIDEWALK / CONCRETE PAD
- NUMBER OF PARKING SPACES
- PROPOSED SIGN
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED LIGHT POLE

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

CARMINA WOOD DESIGN

Mixed Use Development

1720, 1740 & 1760 Maple Road
Amherst, NY

REVISIONS:	
No.	Description
1	Rev. per Town comments

Date
9/18/23

DRAWING NAME:
Site Plan

Date: 8/21
Drawn By: P. She
Scale: As No

DRAWING NO.

C-100

Project No: 22.060

Packet Pg. 30

Attachment: Drawings SP-2023-06 (28012 : SP-2023-06, 1720, 1740, 1760 Maple Rd., PB Investors, LLC)

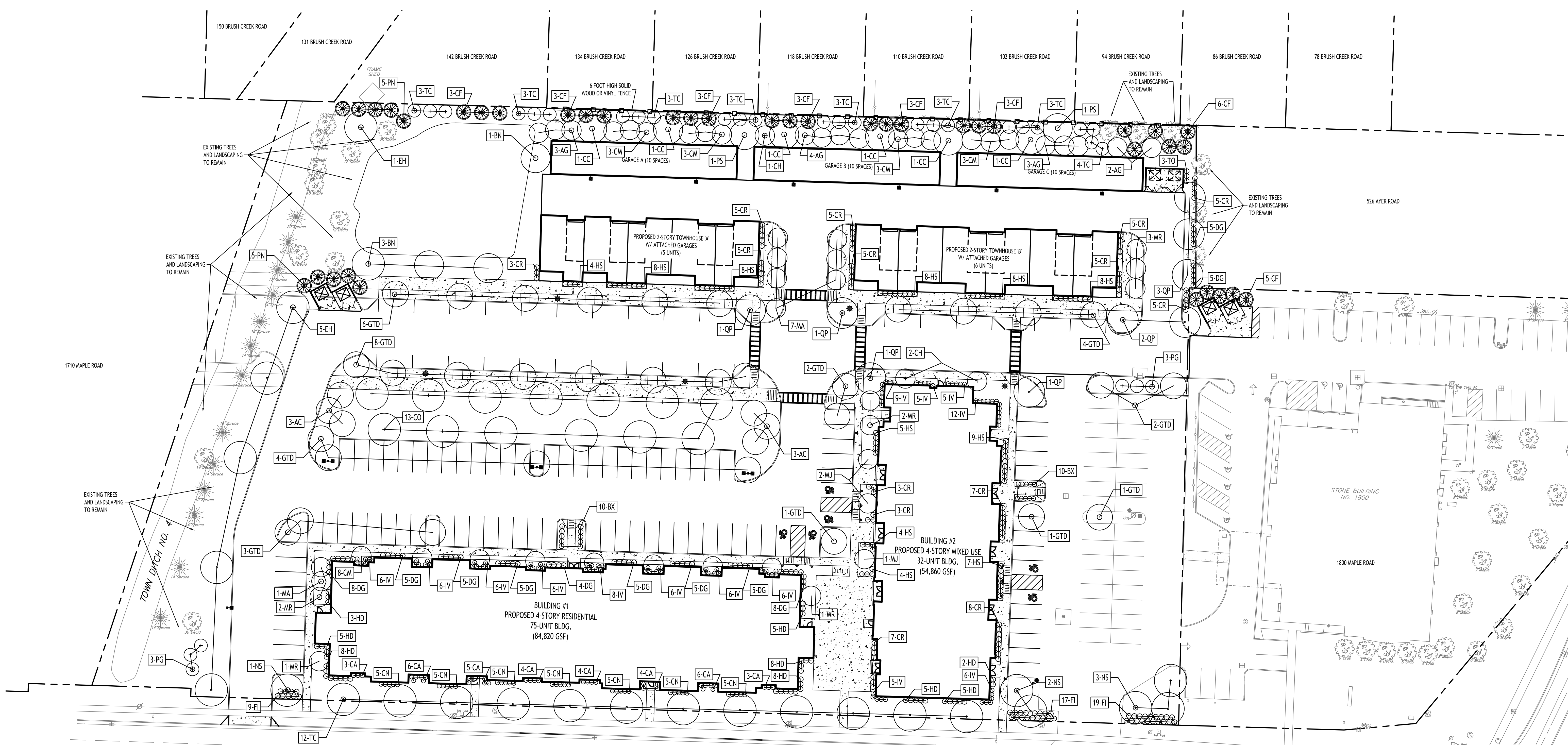
111 Bain Street, Suite 332
Carmina Wood Design
Phone: (336) 837-9009

1487 Main Street, Suite 500
Carmina Wood Design
Phone: (716) 842-3165

1.1.b

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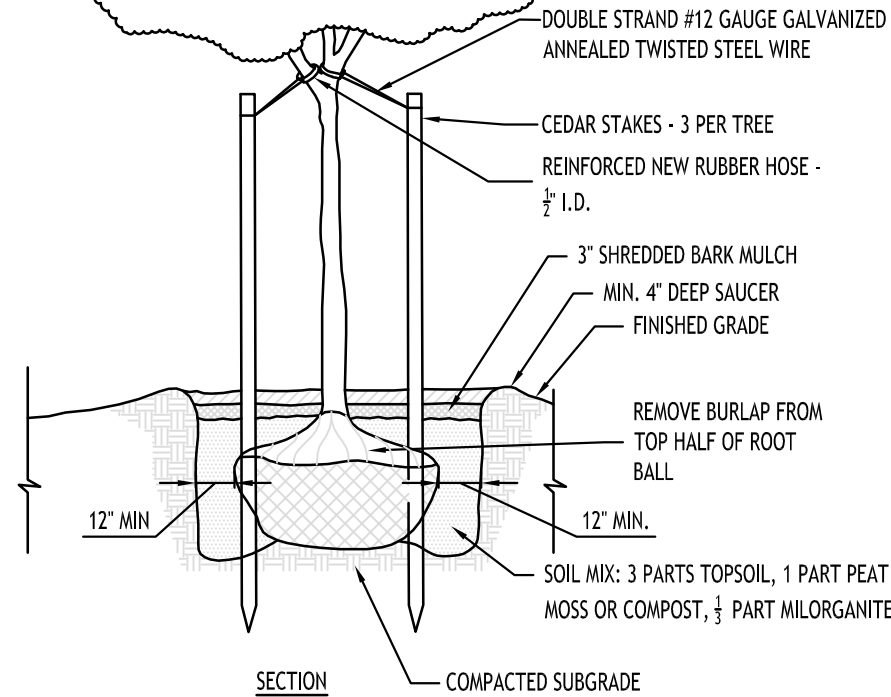
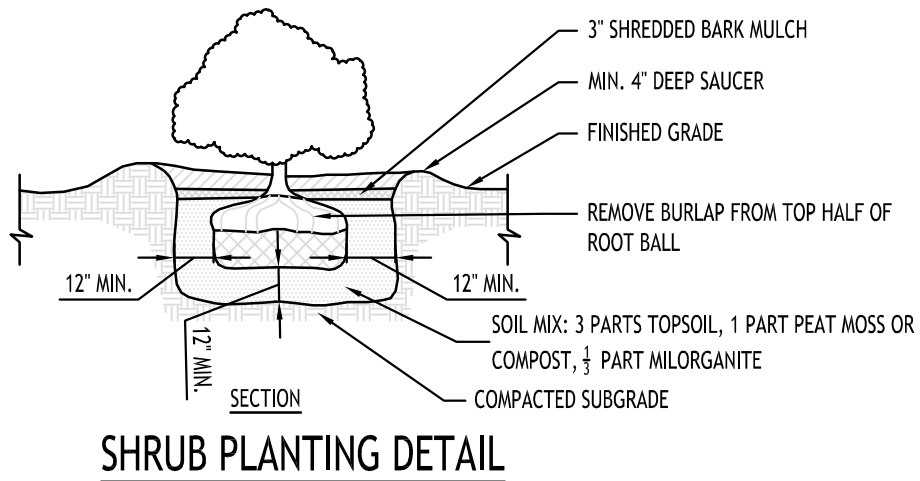
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PLANTING SCHEDULE - MIXED USE DEVELOPMENT, 1720, 1740 & 1760 MAPLE ROAD, TOWN OF AMHERST NY

KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
DECIDUOUS TREES					
AG	12	GINKGO BILOBA	GINKGO "AUTUMN GOLD"	2 1/2" - 3" CAL.	B&B
BN	4	BETULA NIGRA "CULLY"	HERITAGE RIVER BIRCH	10"-12" HT.	B&B, MULTI-STEM (3-5X6 MIN)
CC	6	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2 1/2" - 3" CAL.	B&B
CO	13	CELTIS OCCIDENTALIS "PRAIRIE PRIDE"	PRAIRIE PRIDE HACKBERRY	2 1/2" - 3" CAL.	B&B
EH	6	TSUGA CANADENSIS	EASTERN HEMLOCK	2 1/2" - 3" CAL.	B&B
GD	32	OLEDTIS THACANTHOS INERMIS "DRAVES"	DRAVES THORNLESS HONEYLOCUST	2 1/2" - 3" CAL.	B&B, HT. OF 45' & 20' WIDE
NS	6	NYSSA SYLVATICA "WILDFIRE"	WILDFIRE BLACK GUM	2 1/2" - 3" CAL.	B&B
PS	2	PRUNUS SEROTINA	BLACK CHERRY	2 1/2" - 3" CAL.	B&B
QP	9	QUERCUS PALUSTRIS	PIN OAK	2 1/2" - 3" CAL.	B&B
TC	37	TILIA CORDATA "GLENLEVEN"	GLENLEVEN LITTLELEAF LINDEN	2 1/2" - 3" CAL.	B&B
SMALL/ORNAMENTAL TREES					
AC	6	AMELANCHIER CANADENSIS	SERVICEBERRY	7' - 8' HT.	B&B, MULTI-STEM
CH	3	CRATAEGUS CRUS-GALLI "CRUZAM"	CRUSADER HAWTHORN	1 3/4" - 2" CAL.	B&B, THORNLESS
CM	20	CERIS CANADENSIS "MERLOT"	MERLOT EASTERN REDBUD	1-3/4" - 2" CAL.	B&B
MA	8	MALLUS "ADIRONDACK"	ADIRONDACK FLOWERING CRABAPPLE	1-3/4" - 2" CAL.	B&B
MJ	5	MALLUS "RED JEWEL"	RED JEWEL FLOWERING CRABAPPLE	1-3/4" - 2" CAL.	B&B
MR	10	MALLUS "ROYAL RAINDROPS"	ROYAL RAINDROP CRABAPPLE	1-3/4" - 2" CAL.	B&B, 15' WIDE
EVERGREEN TREES					
CF	26	ABIES CONCOLOR	CONCOLOR FIR	5' - 6' MIN. HT.	B&B, FULL TO GROUND
PG	6	PICEA GLAUCA	WHITE SPRUCE	5' - 6' MIN. HT.	B&B, FULL TO GROUND
PN	10	PINUS RESINOSA	RED PINE	5' - 6' MIN. HT.	B&B, FULL TO GROUND
SHRUBS					
BK	20	BUXUS x "GREEN MOUNTAIN"	GREEN MOUNTAIN BOXWOOD	18" HIGH MIN.	NO. 3 CONT.
CN	35	CALLICARPA x "NOCK2"	PEARL GLAM BEAUTYBERRY	24" HIGH MIN.	NO. 3 CONT.
CR	76	CRATAEGUS CRUS-GALLI "CRUZAM"	CRUSADER HAWTHORN	1-3/4" - 2" CAL.	B&B, THORNLESS
DG	60	DIERVILLA "GZX88544"	KODIAK ORANGE DIERVILLA	24" HT MIN., NO. 3 CONT.	
FI	45	FORSYTHIA X INTERMEDIA "KOLGOLD"	MAGICAL GOLD FORSYTHIA	24" HIGH MIN.	NO. 3 CONT.
HD	47	HYPERICUM X "DEPPE"	SUNNY BOULEVARD HYPERICUM	24" HIGH MIN.	NO. 5 CONT.
HS	78	HYDRANGEA SERRATA "SMINAKTSR"	TUFF STUFF RED HYDRANGEA	24" HIGH MIN.	B&B
IV	92	ITEA VIRGINICA "SMINVIDFC"	SCENTLANDIA SWEETSPICE	18" HIGH MIN.	NO. 3 CONT.
TO	3	TILIA OCCIDENTALIS "ART BOE"	NORTH POLE ARBORVITAE	4' HIGH, NO. 3 CONT.	B&B, FULL TO GROUND
ORNAMENTAL GRASS					
CA	35	CALAMAGROSTIS X ACUTIFOLIA "KARL FOERSTER"	KARL FOERSTER FEATHER REED GRASS	NO. 3 CONT.	

- NOTES:
- EVERGREEN TREE HEIGHT SHALL BE MEASURED FROM THE BOTTOM OF LEADER.
 - ORNAMENTAL GRASSES SHOULD BE PRUNED BACK IN LATE FALL, OR EARLY SPRING, TO ALLOW FOR NEW FOLIAGE TO GROW IN SPRING.
 - ALL PLANTING BEDS & TREE PITS SHALL RECEIVE A MIN. 3" DEPTH OF DARK SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE CALLED OUT ON PLANS.



N Landscape Plan
SCALE: 1"=30'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



CARMINA WOOD
DESIGN

1487 Main Street, Suite 500
Great Neck, NY 11023
Phone: (716) 842-3165

111 Bain Street, Suite 332
Great Neck, NY 11023
Phone: (336) 837-9009

Mixed Use Development
1720, 1740 & 1760 Maple Road
Amherst, NY

REVISIONS:	No.	Description	Date
1	1	Rev. per Town comments	9/18/23

Robert C. Walter, RLA
Registered Landscape Architect
Member American Society of Landscape Architects
2765 Dodge Road, East Amherst, NY 14051-2113
Phone: 716-364-5564
RCWlandscapearchitect@gmail.com

DRAWING NAME:
Landscape Plan

Date: 8/21
Drawn By: P. She
Scale: As No

DRAWING NO.:

L-100

Project No: 22.060

Packet Pg. 31

Attachment: Drawings SP-2023-06 (20012 : SP-2023-06, 1720, 1740, 1760 Maple Rd., PB Investors, LLC)

1.1.b

TOWN OF AMHERST
DESIGN ADVISORY BOARD
DESIGN REVIEW FINDINGS
SP 2023-06

PETITIONER

PB Investors, LLC.
5500 Main Street, Suite 343
Williamsville, NY 14221

PROPERTY LOCATION

1720, 1740, 1760 Maple Road

WHEREAS, the Town of Amherst Design Advisory Board on Thursday, September 28, 2023, held a public meeting to conduct a design review in accordance with Local Law 18-2019, for a mixed-use development consisting of a 4-story multi-family building, a 4-story mixed use building (ground floor commercial), and two 2-story townhouse buildings with attached garages, and

The Design Advisory Board makes the following findings on said Site Plan and/or Building Design for the Planning Board's consideration:

1. That final site plan identify furnishings for outdoor amenity spaces.
2. That final site plan include bicycle rack(s) on the east side of the mixed-use building.
3. That final plan indicate proposed locations and nature of public art.
4. That the final site plan be revised to replace the proposed white vinyl fence with a high quality wood fence.
5. That the final site plan include streetscape amenities along the proposed local street.

The foregoing findings were adopted by the Town of Amherst Design Advisory Board, September 28, 2023; moved by - Talty; seconded by – Conhiser-Uy; ayes 5, noes 0; absent 0.



Dal Giuliani, Chair

10-5-2023

Date

Reviewed Plan Date: August 21, 2023
Reviewed Plan Preparer: Carmina Wood
Received Plan Date: September 19, 2023 and September 26, 2023

GP/rb

X:\Current_Planning\Files\Site Plans\2023\SP-2023-06_(1720_1740_&_1760_Maple_Rd)_2023\DAB\SP-2023-06_DAB_Blurb_09282023.doc

cc: Town of Amherst Planning Board
Sean Hopkins, Esq., 5500 Main Street, Suite 343, Williamsville, NY 14221
Paul Bliss, PB Investors, LLC., 6790 Main Street, Suite 100, Williamsville, NY 14221
Patrick Sheedy Jr., PE, Carmina Wood Design, 487 Main Street, Suite 500, Buffalo, NY 14203
Brian Sleva, AIA, Carmina Wood Design, 487 Main Street, Suite 500, Buffalo, NY 14203

Attachment: SP-2023-06_DAB_Findings_09282023 (28012 : SP-2023-06, 1720, 1740, 1760 Maple Rd., PB Investors, LLC)