



TOWN OF AMHERST DESIGN ADVISORY BOARD MINUTES

August 26, 2021
6:00 PM

DRAFT

The regular meeting of the Town of Amherst Design Advisory Board was called to order by Chair Giuliani on Thursday, August 26, 2021 at 6:00 pm in the Council Chambers of the Town of Amherst Municipal Building, 5583 Main Street, Williamsville, New York.

ROLL CALL

Attendee Name	Organization	Title	Status	Arrived
Dal Giuliani	Town of Amherst	Chair	Present	
Duncan Black	Town of Amherst	Board Member	Present	
Marissa Colucci	Town of Amherst	Board Member	Present	
Tracy Conhiser-Uy	Town of Amherst	Board Member	Present	
Peter Talty, Jr.	Town of Amherst	Board Member	Present	
Scott Marshall	Town of Amherst	Principal Planner	Present	
Rachel Boerschig	Town of Amherst	Clerk-Typist	Present	
Ann Demopolous	Town of Amherst	Deputy Town Attorney	Present	

DESIGN REVIEW APPLICATIONS

- 1.1. DESIGN ADVISORY BOARD REVIEW, SP-1983-42 H (BCD); PROPOSED RIDGE LEA BUSINESS PARK PARKING EXPANSION AND FAÇADE UPGRADES, PROPERTY LOCATED AT 4224-4256 RIDGE LEA ROAD
Property Located at 4224-4256 Ridge Lea Road
Benderson Development Company, LLC, Petitioner

Project Description:

Reconstruction and expansion of the existing parking lot south of the Key Bank office building, new site lighting and upgrades to the façade of the existing building. With respect to the proposed improvements to the building façade the petitioner is proposing five architectural additions to the building that will be constructed with similar materials as the existing building. The façade elements will utilize EFIS, insulated metal panels and architectural masonry veneer. The new façade elements will replace the existing temporary fabric awning structures that are used as the employee/visitor entries, as well as the two corners facing North Bailey Avenue.

James Boglioli, Esq. represented the petitioner, explained the proposal and was available to answer questions from the Board. Rose Sebastiani presented the materials to the Board and was also available for questions.

General Discussion:

In response to the Board's questions, Mr. Boglioli clarified that employees from closing locations would be moved to this one. He also explained many features that satisfy the Design Guidelines are pre-existing and unchanged so he wrote "not applicable" on those items in the application. Ms. Sebastiani illustrated to the Board that the columns would be enlarged and surrounding features would be modified, but not removed to accommodate the change. The new entrances at the columns would be covered but not enclosed. Ms. Sebastiani also clarified that the employee patio seating area would not be affected, just some planters nearby would have to be made smaller.

Application Checklist Review:

The Board reviewed the Application Checklist to determine the application's adherence to the Design Guidelines and had the following comments for each section:

A-1 – Pedestrian Access and Connectivity:

Mr. Talty noted that the sidewalks were not continuous around the entire property. Mr. Boglioli stated that the sidewalk connects to the parking lot and that there is no pre-existing sidewalk along the street to connect to beyond that. Mr. Giuliani confirmed there would be no space to install a sidewalk. Ms. Conhiser-Uy proposed a crosswalk to access the other side of the road but Mr. Boglioli voiced his concerns about the dangers of have a crosswalk mid-street rather than at a corner. Mr. Giuliani pointed out that Benderson could apply for a permit.

A-2 – Outdoor Amenity Space: No comments.**A-3 – Bicycle Amenities:**

Ms. Colucci suggested the bike racks could be more artful but understood they were pre-existing.

A-4 – Public Art: No comments.**A-5 – Site Landscaping:**

Mr. Boglioli confirmed that the plans showed islands in the parking lot which would add several more trees of various types and more greenery overall.

A-6 – Sustainable Features:

Mr. Boglioli explained the islands would act as bio-retention areas for water control.

A-7 – Residential Transitions:

The petitioners own the whole land parcel including the buffer area with a fence that is more than adequate considering this building will not be used at night. Mr. Boglioli also stated there will be no increase of traffic into the south near the residences as there is no direct access to Meyer the road.

B-1 – Façade:

The new materials will be extensions of the pre-existing materials.

B-2 – Entryways:

Ms. Sebastiani stated that there are handicap accessible entrances. The entrances will be raised by two feet but no higher due to structural restrictions. Mr. Boglioli also confirmed this is not a building for public use so only employees will consistently accessing the entrances.

B-3 – Windows: No comments.**B-4 – Roofs and Architectural Details:**

There will be no changes to the equipment on the roof. For lighting, Ms. Sebastiani confirmed there will be red lights to match the signs and recessed lighting.

B-5 – Street Level Interest: No comments.

B-6 – Sustainable Building Features: No comments.

B-7 – Building Materials: No comments.

C-1 – Open Space:

There is the patio seating area available for the employees.

C-2 – Sidewalk: No comments.

C-3 – Curb Zone:

There will be no changes made to the street and all of the trees will be preserved.

Recommendations:

The Board then reviewed their recommendation to the Planning Board.

- 1) That a pedestrian crosswalk be provided from a point near the northern terminus of the walkways along the west side of the subject building across Bailey Avenue to the public sidewalk on the west side of Bailey Avenue.

Mr. Giuliani moved to send the project to the Planning Board with the recommendation. The motion was carried. Ayes 5, Noes 0, Abstain 0.

MISCELLANEOUS

- 2.1. DESIGN ADVISORY BOARD DISCUSSION, PROPOSED MIXED-USE DEVELOPMENT
Property Located at 6842 & 6846 Main Street
MEL Investors, LLC., Petitioner

The DAB was asked to make a preliminary review of the proposed project at the request of the Petitioner. The following are the DAB findings. These do not constitute official comments or recommendations.

Project Description:

Proposed construction of 4-story mixed-use building with 7,500 square feet of commercial space and 10 apartments on the first floor and 16 apartments on the remaining floors. In addition, construction of two 10-car garages and 8 units of 2-story townhomes with attached garages.

Sean Hopkin, Esq. represented the petitioner, explained the proposal and was available to answer questions from the Board. Brian Sleva presented the materials to the Board and was also available for questions.

The petitioners described their current designs for the project including materials, layout, parking, lighting, and building orientation. They also noted design choices made based on feedback from the neighbors on Tennyson Terrace.

In response to the Board's questions, the petitioners explained the following: the open space will be near the bank; they will have access to the neighboring curb cuts; the commercial area will be distinct with signage, be closer to the roads, and be on both sides of the building; their entrance canopy will be smaller to avoid damage from snow; and the apartment will be less than the maximum allowable height.

The Board made the following suggestions: making the apartment building's base more defined, altering the apartment building's white aluminum panels to make it more pronounced or continuous, to add plenty of detail on the application's checklist; and to incorporate the colors and vertical elements of the apartment building to the townhomes for a cohesive design across the project.

OTHER COMMUNICATIONS

None

UNFINISHED BUSINESS

None

MINUTES APPROVAL

April 22, 2021

Mr. Giuliani moved to approve the minutes. The motion was seconded by Ms. Colucci and carried. Ayes 5, Noes 0, Abstain 0.

ADJOURNMENT

The Design Advisory Board meeting of August 26, 2021 was adjourned at 7:00 pm.

rb

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HOW TO USE THE CHECKLIST:

This checklist is meant to be used as a tool to aid in providing a thorough and complete application for Design Review. It is meant to be used by the applicant to track and explain which design guidelines apply to the project, and for those that do apply, what design technique is being employed to meet or exceed the proposed guidelines.

The format of the checklist is the following:

Guideline Topic: The corresponding category of topic, as represented in the Design Guidelines table of contents.

Intent: The intent of the set of guidelines for that guideline topic.

Page #: Corresponding page in the Design Guidelines

Recommendation #: The specific guideline reference in the Design Guidelines.

Recommendation Description: Description of the recommendation

Brief Description of how the guideline is achieved: The applicant is urged to include specific references in the submittal materials (i.e. references to plan page number, calculations, descriptions, etc.). Please provide additional pages as necessary.

Shaded Areas for Official use only

SITE DESIGN GUIDELINES:

A-1. PEDESTRIAN ACCESS AND CONNECTIVITY

Intent Statement: Pedestrian access and connectivity within a site should enhance walkability throughout the site and to adjacent sites, promote safety and provide clear connections to the public realm.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
4	A-1a	Establish a continuous internal walkway system throughout the site.	A continuous pedestrian connection has been added from the building through the parking lot to the expansion area.	
4	A-1b	Provide a physical pedestrian connection between the site and nearby public space.	There is not any nearby public space, The building is connected to the sidewalks on N. Bailey Ave.	
4	A-1c	Provide public pedestrian access through a block.	N/A	

A-2. OUTDOOR AMENITY SPACE

Intent Statement: Although opportunities will vary by site, projects should incorporate amenity spaces, where required, into the design. Courtyards, plazas, playgrounds, outdoor dining areas and other amenity spaces provide opportunities to gather and engage in activities for both the general public and residents of the development. When located adjacent to the public realm, these features activate and enhance the pedestrian experience.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
5	A-2a	Locate and program an amenity space to receive regular use.	N/A	
5	A-2b	Place amenity space so that it is connected to the public realm.	N/A	
5	A-2c	Designs should not appear to privatize the space.	N/A	

A-3. BICYCLE AMENITIES

Intent Statement: Providing bicycle amenities such as parking facilities and repair stations promotes the use of active transportation methods which help improve the safety, health and experience of community residents.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
6	A-3a	Provide connections to existing or planned bike paths.	The existing building is connected to N. Bailey Ave.	
6	A-3b	Incorporate bicycle amenities into site designs.	A bike rack will be added to the site plan	

A-4. PUBLIC ART

Intent Statement: Public art includes decorative and functional features that are accessible or visible to the public. These may include sculptures, landscaping elements, or street furniture (benches, bike racks, or other functional features with an original design). Public art enhances the pedestrian experience and should be integrated into a project as a design amenity.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
7	A-4a	Encourage the inclusion of public art in a project.	N/A - It is an expansion of an existing parking lot.	

A-5. SITE LANDSCAPING

Intent Statement: Landscaping can enhance a project by providing visual interest, tying together key site features, providing shade, screening areas from public view and providing buffers between properties. It can also help soften the urban environment and visually enhance the public realm. The guidelines in this section go beyond the requirements of the Zoning Ordinance and are in addition to the requirements of Chapter 203-7-2.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
8	A-5a	Preserve existing viable, healthy and attractive trees.	The project does not remove viable, healthy and attractive trees	
8	A-5b	Incorporate into the project's stormwater management system through the use of Low-Impact Development and other green infrastructure approaches.	The stormwater system utilizes a bio-retention bed.	
8	A-6c	Use a coordinated landscape plant and materials palette to establish a sense of continuity within the project.	The project adds landscape islands and landscaping to the existing parking lot and establishes a sense of continuity	
8	A-5d	Choose appropriate tree and plant species.	Appropriate tree and plant species are shown on the landscape plan	

A-6. SUSTAINABLE FEATURES

Intent Statement: Each site design should create opportunities to contribute to a sustainable future for Amherst. Incorporate sustainable features that help reduce energy and water consumption, improve stormwater management, and create an overall healthy environment.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
9	A-6a	Integrate Low-Impact Development (LID) features throughout the site to minimize impacts to the municipal stormwater system and area watersheds.	Additional greenspace has been added to the existing parking lot	
9	A-6b	Use landscaping to reduce heating and cooling needs.	N/A	

A-6. SUSTAINABLE FEATURES (cont.)

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
9	A-6c	Include materials and natural features that conserve and promote wildlife habitat and local biodiversity.	Greenspace and landscaping have been added	
9	A-6d	Reuse site or construction materials.	N/A	

A-7. RESIDENTIAL TRANSITIONS

Intent Statement: Residential transitions, where required in Section 5A-5, should focus on minimizing the impact of new development and site activity on adjacent protected districts.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
10	A-7a	Take into consideration the project's building and site elements that are located near the residential transition.	While the project abuts a residential dwelling, that site is commercially zoned. A fence and greenspace are located in this transition.	
10	A-7b	Use wall and fence materials that can be maintained to last as long as the principal building.	A proposed 6' high board-on-board fence is being installed along the residential property line	
10	A-7c	Use colors that match or complement the principal building or are subdued and blend in with the natural environment.	The colors compliment the area.	

BUILDING DESIGN GUIDELINES:

B-1. FAÇADE

Intent Statement: The façade of a building should be appropriate to the style and character of surrounding buildings, the site, and the general character of the surrounding community.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
11	B-1a	Design the building to incorporate a “base, middle and cap” to divide the façade into separate components, that produce well defined ground or lower floors and a distinctive “cap “ element framing the middle floors, especially on taller buildings.	The existing building is being improved with five architectural additions which will break the existing facade into separate elements.	
11	B-1b	On larger building frontages, implement a variety of façade treatments to provide visual distinction, variety, and the appearance of multiple structures to break up the facades.	The existing building is being improved with five architectural additions which will break the existing facade into separate elements.	
11	B-1c	Arrange elements on the façade (e.g. windows, doors, canopies, etc.) to create a generally consistent rhythm and overall visual interest.	The existing building is being improved with five architectural additions which will break the existing facade into separate elements.	

B-2. ENTRYWAYS

Intent Statement: Entryways should be well-identified and provide a welcoming experience for those utilizing them, while contributing to the overall style and character of the building.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
12	B-2a	Doors and entryways should be of a style, scale, and coverage appropriate to the overall architectural style of the building.	N/A	

B-2. ENTRYWAYS (cont.)

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
12	B-2b	The primary entrance of a building should be clearly identifiable.	N/A	
12	B-2c	Incorporate accessibility into primary entrances without the need for switchbacks or railings.	N/A	
12	B-2d	Commercial buildings should have a transparent primary entrance.	N/A	

B-3. WINDOWS

Intent Statement: Window design and arrangement should express a human scale. Where compatibility with adjacent building character is important, use windows to create visual continuity with the existing character and provide visual interest.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
13	B-3a	Windows should be of a scale and proportion appropriate to the overall architectural style of the building and in character with the window sizes of adjacent building and sites.	N/A	
13	B-3b	Locate windows to create visual continuity.	N/A	
13	B-3c	Window openings should be trimmed with an appropriate material.	N/A	

B-4. ROOFS AND ARCHITECTURAL DETAILS

Intent Statement: These crucial components of a building's façade and massing should complement and enhance the overall building composition. The use of these details should be kept consistent with buildings of a similar architectural style, but should also help create a unique identity for the structure. An appropriate amount of architectural detail should be used.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
14	B-4a	Architectural details such as overhangs, cornices, eaves and parapets, should complement the architectural style of the building and its surrounding context.	N/A	
14	B-4b	Rooflines should be in character with the overall style of the building.	N/A	
14	B-4c	Cornices should be used to differentiate and enhance the vertical composition of the façade.	N/A	
14	B-4d	Building stories, cornice lines and other horizontal elements should be generally consistent with adjacent buildings to help provide a rhythm to the streetscape.	N/A	
14	B-4e	Varying the building placement (setback from the street) on a large building helps break up the block and reduce the impact of long buildings on the streetscape.	N/A	
14	B-4f	Architectural lighting may be used to enhance specific elements of the building.	N/A	

B-5. STREET LEVEL INTEREST

Intent Statement: The character of a building's ground floor strongly impacts the pedestrian experience. The ground floor of a building should be designed to generate activity, animate the sidewalk and help establish a visual/physical connection between the inside of the building and the adjacent outdoor area.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
15	B-5a	Design a building to provide interest at the street level adjacent to the public realm.	N/A	
15	B-5b	Incorporate landscaping along the ground floor of the building.	N/A	

B-6. SUSTAINABLE BUILDING FEATURES

Intent Statement: Buildings should incorporate sustainable features that help reduce energy consumption, reduce water use, and contribute to a more sustainable environment.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
16	B-6a	Should seek to reduce water usage and reuse water with the building.	N/A	
16	B-6b	Should seek to reduce energy use and generate energy on-site.	N/A	

B-7. BUILDING MATERIALS

Intent Statement: Building materials should evoke the character, style and purpose of the structure. Each building façade should use high-quality, durable materials that contribute to the visual continuity of the building's character. They should be consistent with those used traditionally in the surrounding area, however, materials with new and innovative materials may also be appropriate, especially in Retrofit Districts.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
17	B-7a	Use high quality, durable building materials.	Building materials match the existing building.	
17	B-7b	Use responsibly-sourced and long-lasting building materials.	Materials include EIFS, insulated metal panels and architectural masonry veneer.	
17	B-7c	Any side or rear wall facing a street, residential district or public area must consist of the same finish materials as the primary façade.	Yes.	
17	B-7d	Decorative masonry materials (such as split face and textured finish blocks) are discouraged but may be considered an acceptable façade material at the discretion of the Planning Board.	Noted	
17	B-7e	Exterior finishing materials for renovation, additions and rehabilitations should be consistent with those being retained on the existing structure.	Building materials match the existing building	
17	B-7f	Exterior Insulation Finish System (EIFS) should not be utilized as a primary building material, but may be utilized, at the discretion of the Planning Board, as a decorative or complementary material on upper stories only.	Noted	

PUBLIC REALM GUIDELINES:

C-1. OPEN SPACE

Intent Statement: Open space is a public outdoor area provided for social and recreational use. Examples of open space include parks, parklets, greenways, trails, playgrounds, gardens and more. Open space is required in the Retrofit Districts.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
18	C-1a	Open spaces should ideally be centrally located.	N/A	
18	C-1b	Open spaces should contribute to an existing or planned open space or greenway network when possible.	N/A	
18	C-1c	Open spaces should be easily accessible by everyone.	N/A	
18	C-1d	Open spaces should be designed to be proportionate in scale to their surrounding context.	N/A	
18	C-1e	Existing natural features and systems should be utilized or highlighted in the design of an open space.	N/A	
18	C-1f	Open spaces should be programmed in ways that allow for a variety of uses.	N/A	
18	C-1g	Incorporate pedestrian and bicycle amenities such as seating, trash receptacles, drinking fountains, bicycle parking, and pedestrian-scaled lighting.	N/A	

C-2. SIDEWALK

Intent Statement: Design sidewalks to enhance the pedestrian experience. A well-designed sidewalk increases walkability and safety, and helps to connect ground floor activities to the public realm.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
19	C-2a	Coordinate building elements such as furnishings, overhangs, lighting and signs to create an engaging sidewalk space.	N/A	
19	C-2b	Sidewalk elements should be scaled according to their context, including the intensity of activity, building heights and noise levels.	N/A	
19	C-2c	Locate exterior uses and amenities to support and connect to interior activities.	N/A	
19	C-2d	Use surface materials that complement the architecture and character of the area.	N/A	

C-3. CURB ZONE

Intent Statement: The curb zone is the area between the back-of-curb and the sidewalk where landscaping and streetscape amenities should be placed so that they can contribute to the pedestrian experience.

Page #	Guideline #	Recommendation Description	Brief Description of how the recommendation is met, if applicable	Recommendation
	C-3a	Streetscape amenities may be placed in the curb zone with approval of the Town or other regulating agency with jurisdiction.	N/A	
	C-3b	Trees and other landscaping should be planted within the curb zone.	N/A	

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WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



ENLARGED 1



ENLARGED 2



ENLARGED 3



ENLARGED 4



ENLARGED 5



ENLARGED 6



ENLARGED 7

- PROPOSED GRAY METAL PANEL CORNICE
- PROPOSED BEIGE EIFS FACADE
- PROPOSED METAL PANEL CANOPY
- PROPOSED SPLITFACE CMU BASE
- EXISTING GRAY METAL PANEL CORNICE
- EXISTING STOREFRONT GLAZING
- EXISTING BRICK

- PROPOSED GRAY METAL PANEL CORNICE
- PROPOSED BEIGE EIFS FACADE
- PROPOSED METAL PANEL CANOPY
- PROPOSED SPLITFACE CMU BASE
- EXISTING CORRUGATED METAL CANOPIES
- EXISTING METAL PANEL CORNICE
- EXISTING STOREFRONT GLAZING
- EXISTING BRICK

TYP.
PROPOSED 18'-0"
EX. 15'-5"

FACADE RENOVATION

4224 RIDGE LEA ROAD
AMHERST, NY

PROPOSED PARKING EXPANSION

AMHERST COMMERCIAL PARK

4224-4256 RIDGE LEA ROAD, AMHERST, NY

BDC Property # 5077

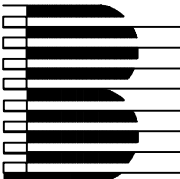
SITE DEVELOPMENT DRAWINGS

INDEX OF DRAWINGS

DWG. #	DRAWING NAME	REVISION	DATE
C1.0	COVER SHEET		
C2.0	EXISTING SURVEY		
C3.0	DEMOLITION & EROSION CONTROL PLAN		
C3.1	DEMOLITION & EROSION CONTROL DETAILS		
C4.0	OVERALL SITE PLAN		
C4.1	DETAILED SITE PLAN		
C4.2	CONSTRUCTION DETAILS		
C5.0	GRADING PLAN		
C5.1	DRAINAGE PLAN		
C5.2	DRAINAGE DETAILS		
C6.0	UTILITY PLAN		
C7.0	LANDSCAPE PLAN		
C8.0	LIGHTING PLAN		

OWNER/DEVELOPER:

NAME: BENDERSON DEVELOPMENT COMPANY, LLC
ADDRESS: 570 DELAWARE AVENUE, BUFFALO, NY 14202
CONTACT: DAVID ZUPPELLI
PHONE: 716 - 878 - 9683



BENDERSON DEVELOPMENT COMPANY, LLC
570 Delaware Ave.
Buffalo, New York 14202

SURVEYOR

NAME: KHEOPS - ARCHITECTURE, ENGINEERING 7 SURVEY, DPC
ADDRESS: 300 PEARL STREET, BUFFALO, NY 14202
CONTACT: -
PHONE: 716 - 849 - 8739

UTILITIES:

NATURAL GAS
NAME/TITLE: WILLIAM SCHNEIDER
COMPANY/DEPT: NATURAL FUEL GAS
ADDRESS: -
PHONE: 716 - 857 - 7786

TELEPHONE COMPANY
NAME/TITLE: JOHN HECKMAN
COMPANY/DEPT: VERIZON
ADDRESS: -
PHONE: 716 - 840 - 8669

ELECTRIC
NAME/TITLE: BEN RUCHO
COMPANY/DEPT: NATIONAL GRID
ADDRESS: -
PHONE: 781 - 907 - 3620

WATER DEPARTMENT
NAME/TITLE: ADAM MASSARO
COMPANY/DEPT: ERIE COUNTY WATER AUTHORITY
ADDRESS: 3030 UNION RD, CHEEKTOWAGA, NY
PHONE: 716 - 685 - 8207

DIG SAFELY NEW YORK
PHONE: 1 - 800 - 962 - 7962 OR (811)

AGENCIES:

ENGINEERING DEPARTMENT
NAME/TITLE: JEFFREY BURROUGHS, TOWN ENGINEER
COMPANY/DEPT: TOWN OF AMHERST, ENGINEERING DEPT.
ADDRESS: 1100 NORTH FOREST ROAD, WILLIAMSVILLE, NY
PHONE: 716 - 631 - 7154 EXT. 7418

SITE LOCATION MAP 1:300



REGIONAL LOCATION MAP NTS



DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: #5077
AREA: -

Amherst Commercial Park
4224 -4256 Ridge Lea Road
Amherst, NY 14226

PROPOSED PARKING EXPANSION

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON
DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
Cover Sheet

SCALE:
NTS
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 08.05.2021

DRAWING NO.
C1.0

Revision	Date	Notes:
1	08.05.2021	1. Updated Site Layout to accommodate bio-retention area 1.1. Lost 8 parking spaces near road 2. Site Drainage Plan and details Added 2.1. Added Underground Storage Area per SWPPP requirements 2.2. Added bio-retention area at Southeast corner of site 2.3. Site drainage system added accordingly 3. Added landscaping within bio-retention area 4. Added bike rack near Key Bank building per Town remark

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

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Amherst Commercial Park
4224 -4256 Ridge Lea Road
Amherst, NY 14226

PROPOSED PARKING
EXPANSION

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON
DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:

Revision
Sheet

SCALE:
NTS

DRAWN BY: DMZ

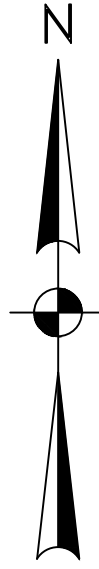
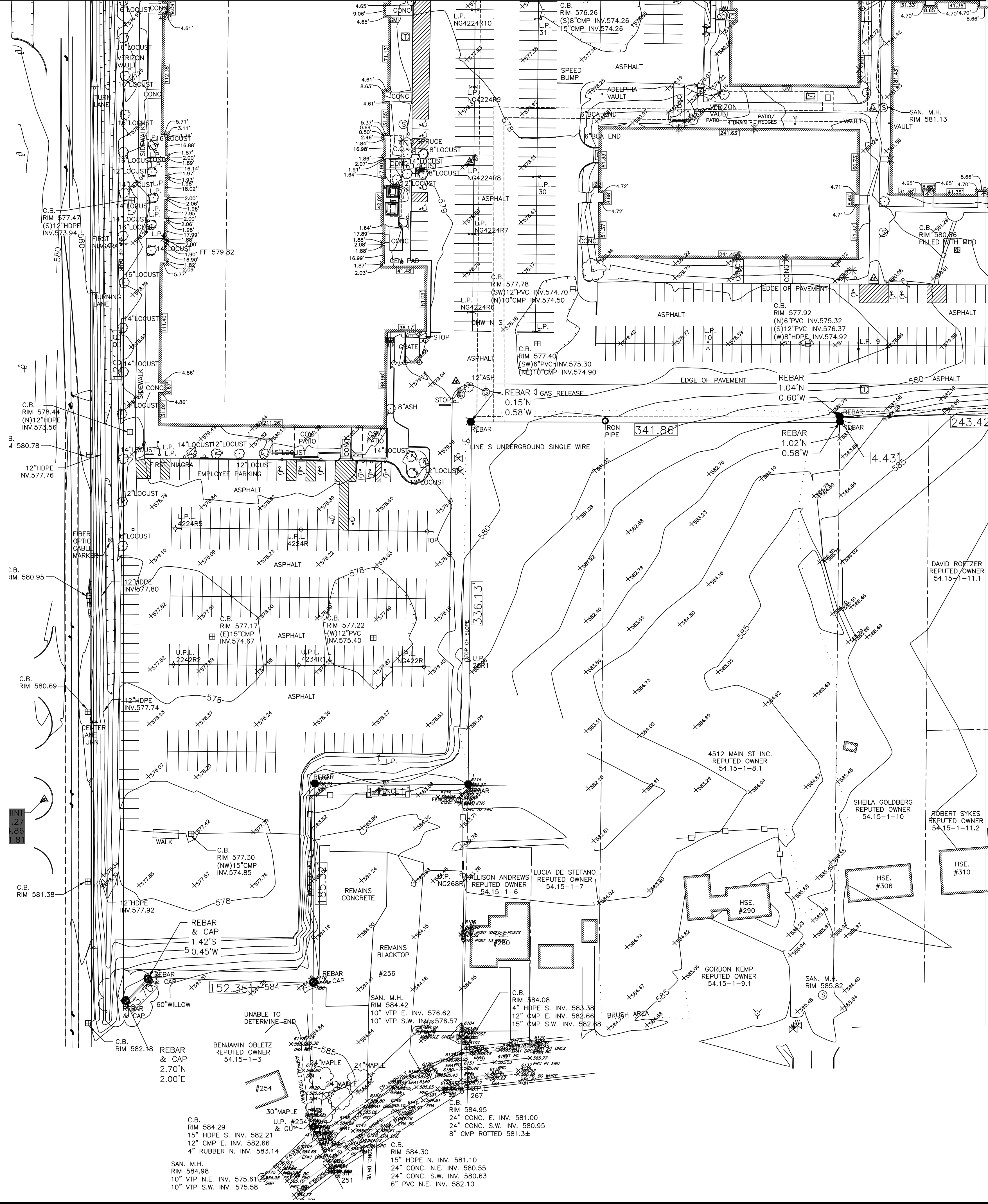
CHECKED BY: MAO

DATE: 08.05.2021

DRAWING NO.

C1.1

MATCHLINE A-A. SEE SHEET 2



MATCHLINE B-B. SEE SHEET 4

TOWN OF AMHERST, ERIE COUNTY

STATE OF NEW YORK

AMHERST COMMERCE CENTER
TOPOGRAPHIC SURVEY

PART OF LOTS 79 & 85, TOWNSHIP 12, RANGE 7
HOLLAND LAND SURVEY

SHEET
REFERENCE
NUMBER:

3

SHEET 3 OF 5



300 Pearl Street, Suite 100
Buffalo, New York 14202
P: 716.846.8739
WWW.KHEOPSPROC.COM

Designed by:

Date: 12/07/2015

Job No.

15N1166

Drawn by:

JAP

Checked by:

DRH

Dwg Scale:

Horizontal: 1" = 50'

Vertical: NONE

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DPC
UNAUTHORIZED REPRODUCTION OR
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UNAUTHORIZED ALTERATION OR
ADDITION TO ANY SURVEY, DRAWING,
REPORT IS A VIOLATION OF SECTION
2025 OF THE NEW YORK STATE EDUCATION LAW
THESE PLANS ARE NOT SUITABLE FOR
MACHINE GUIDANCE USE OR PURPOSES

REV

DESCRIPTION

1

ADDITIONAL TOPO ON 256 METER ROAD 211V098

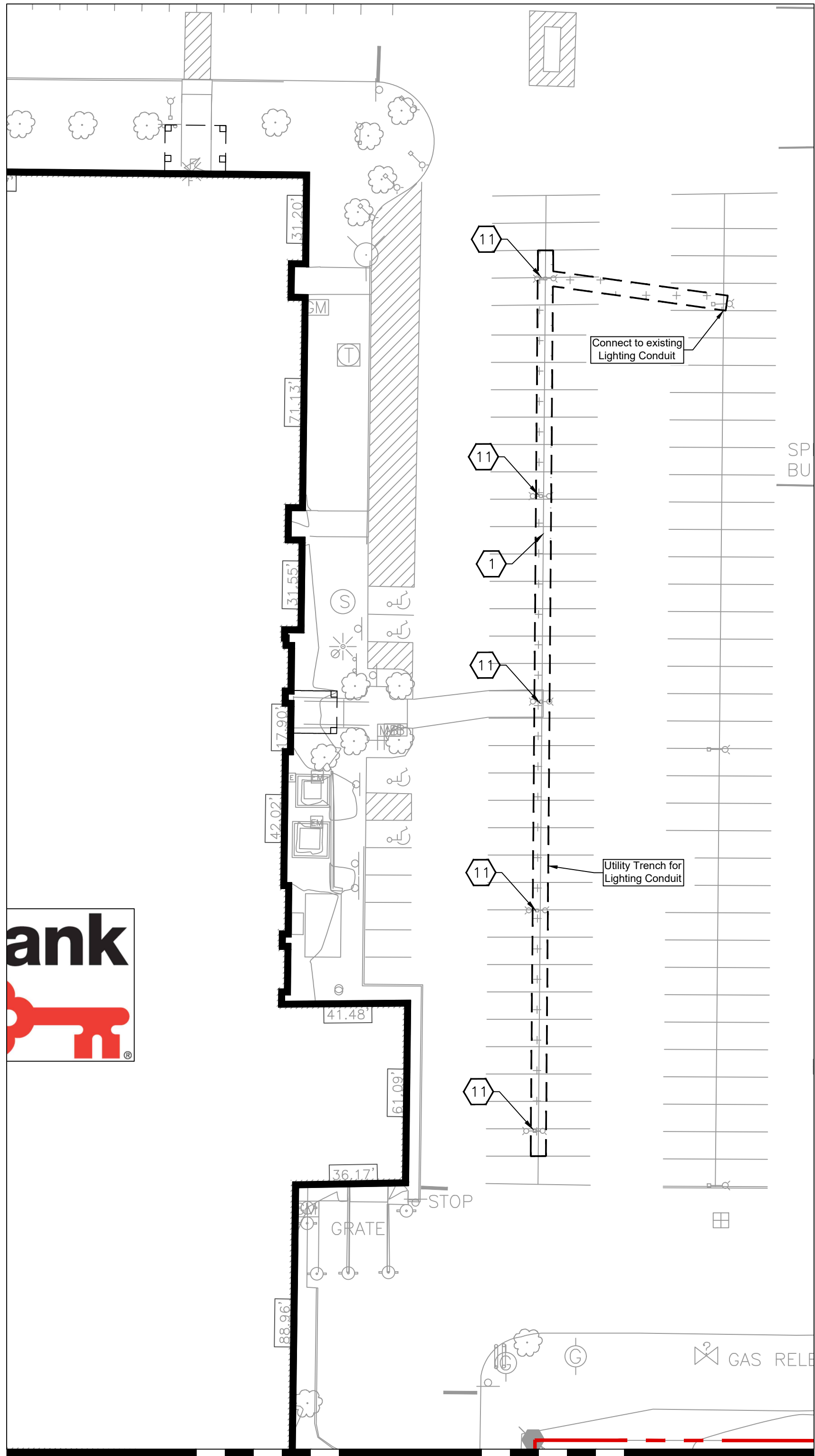
5-2-2021

DATE

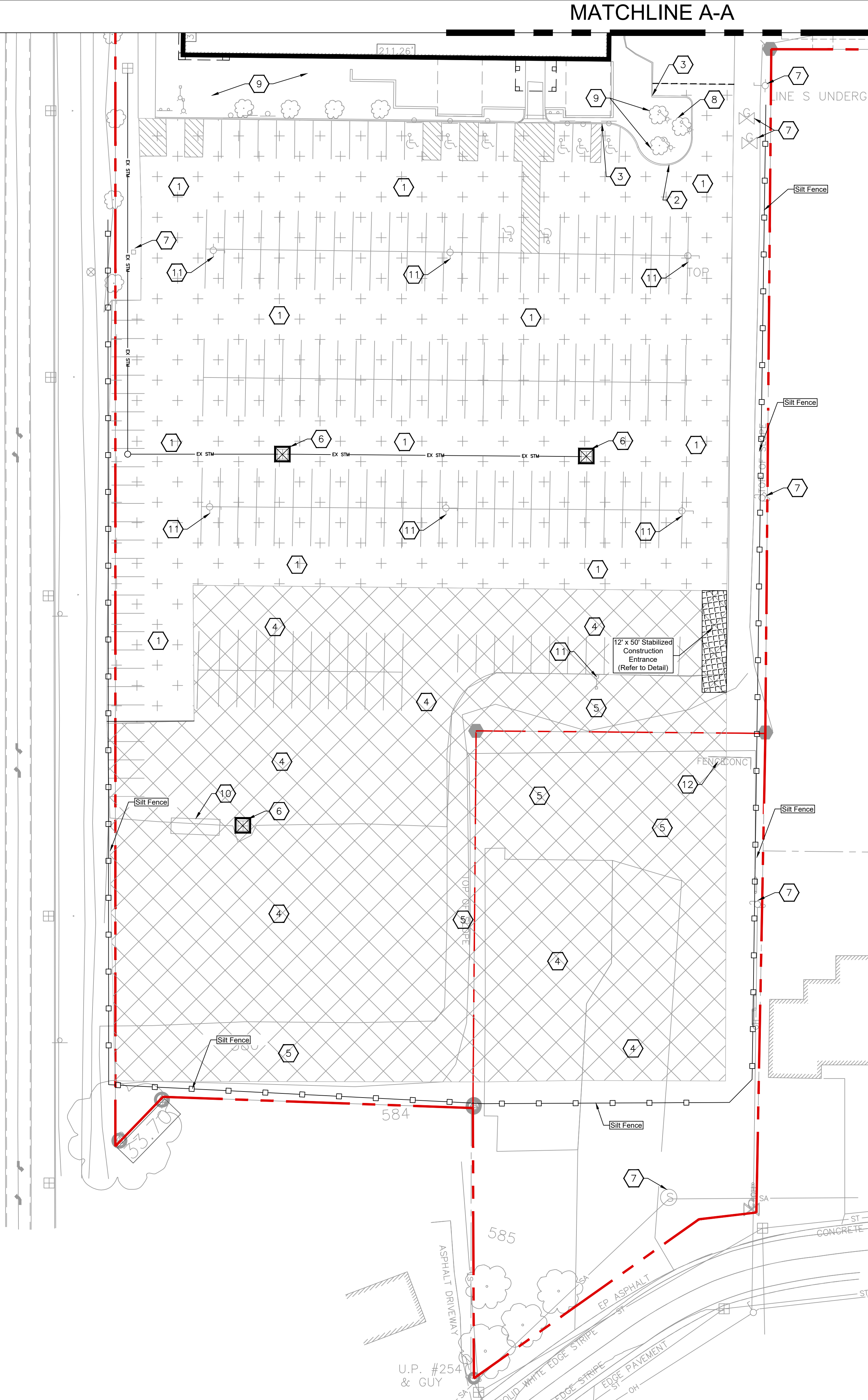
DEMOLITION & EROSION NOTES:
1. USE ENTRANCE FROM MEYER ROAD FOR CONSTRUCTION ENTRANCE
2. INSTALL TEMPORARY EROSION CONTROL DEVICES AS DIRECTED WITHIN THE WORKING AREA TO PREVENT SEDIMENT MIGRATION. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED.
3. ALL EROSION CONTROL DEVICES SHALL BE REPLACED WHEREVER THEY BECOME INOPERABLE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS.
5. THE CONTRACTOR MUST CONTROL DUST DURING CONSTRUCTION. DURING EARTHWORK OPERATIONS, WATER-SPREADING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR, AND WATER SPREAD AS NECESSARY AND AS DIRECTED IN ORDER TO CONTROL DUST.
6. DIRT OR DEBRIS LEFT ON LOCAL PUBLIC ROADS AS A RESULT OF THIS CONSTRUCTION PROJECT SHALL BE REMOVED AND ROAD SURFACES CLEANED BY THE CONTRACTORS ON A DAILY BASIS, OR MORE FREQUENTLY IF DEEMED NECESSARY.
7. ALL DISTURBED AREAS (EXCEPT AREAS TO BE PAVED OR BUILT UPON) SHALL BE TOPSOILED TO A MINIMUM OF 4" DEPTH AND SEEDED IMMEDIATELY AFTER FINE GRADING TAKES PLACE AND AS SOON AS PHYSICALLY POSSIBLE.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF DOWNSTREAM STORM SEWERS, DITCHES AND CULVERTS. SILT BUILDUP FOUND TO BE A RESULT OF THIS SITE CONSTRUCTION WORK SHALL BE REMOVED FROM DOWNSTREAM CULVERTS, DETENTION PONDS, BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER OR CITY.
9. ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES AND MATERIALS SHALL BE IN PLACE PRIOR TO BEGINNING EARTHWORK OPERATIONS AND SHALL BE MAINTAINED UNTIL THE ALL GRADING WORKS ARE COMPLETE.

- DEMOLITION NOTES: #
- Existing Asphalt Pavement to be milled and overlay. Refer to grading plan.
 - Existing Curb to be removed.
 - Limits of Curb Removal
 - Existing Asphalt Pavement to be removed. Subbase to remain and be regraded.
 - Existing green space to be regarded.
 - Existing Storm Drainage/CB to remain and be protected during Construction..
 - Existing Utility Structure to remain and be protected during Construction.
 - Existing Landscaping to be removed.
 - Existing Landscaping to remain.
 - Existing Pylon Sign to remain and be protected during Construction.
 - Existing Light Pole to be removed.
 - Existing Feature to be Removed.

- DEMOLITION LEGEND:
- Property Line
 - Saw Cut Line
 - Silt Fence/Sock
 - Inlet Protection
 - Existing area to be clear of debris and organics.
 - Existing Asphalt Pavement to be milled and receive overlay



MATCHLINE A-A



DRAWING REVISIONS:

No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
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SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
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PROPERTY NUMBER: #5077
AREA: -

Amherst Commercial Park
4224 -4256 Ridge Lea Road
Amherst, NY 14226

PROPOSED PARKING
EXPANSION

CONSULTANT

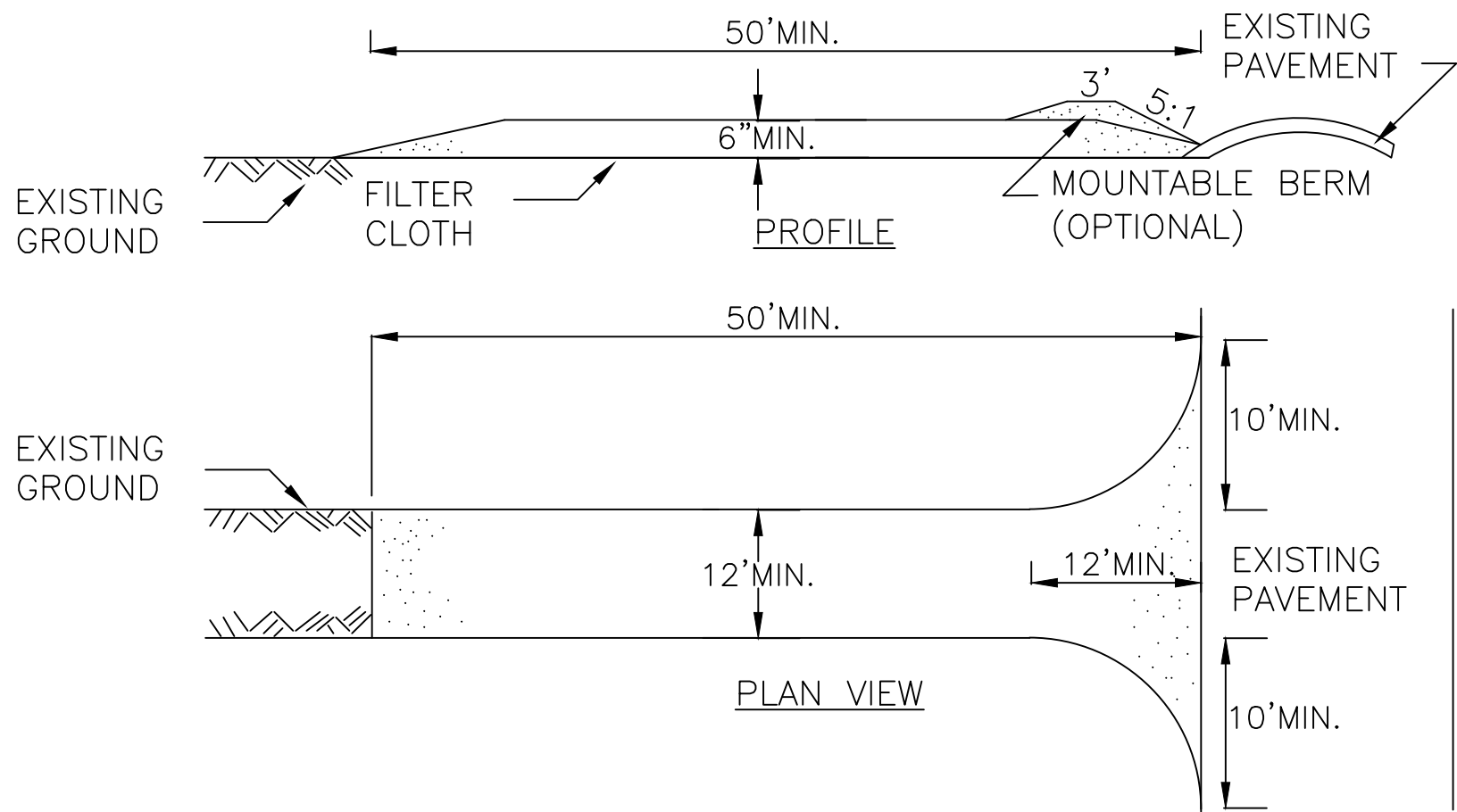
JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON
DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
Demolition and
Erosion Control
Plan

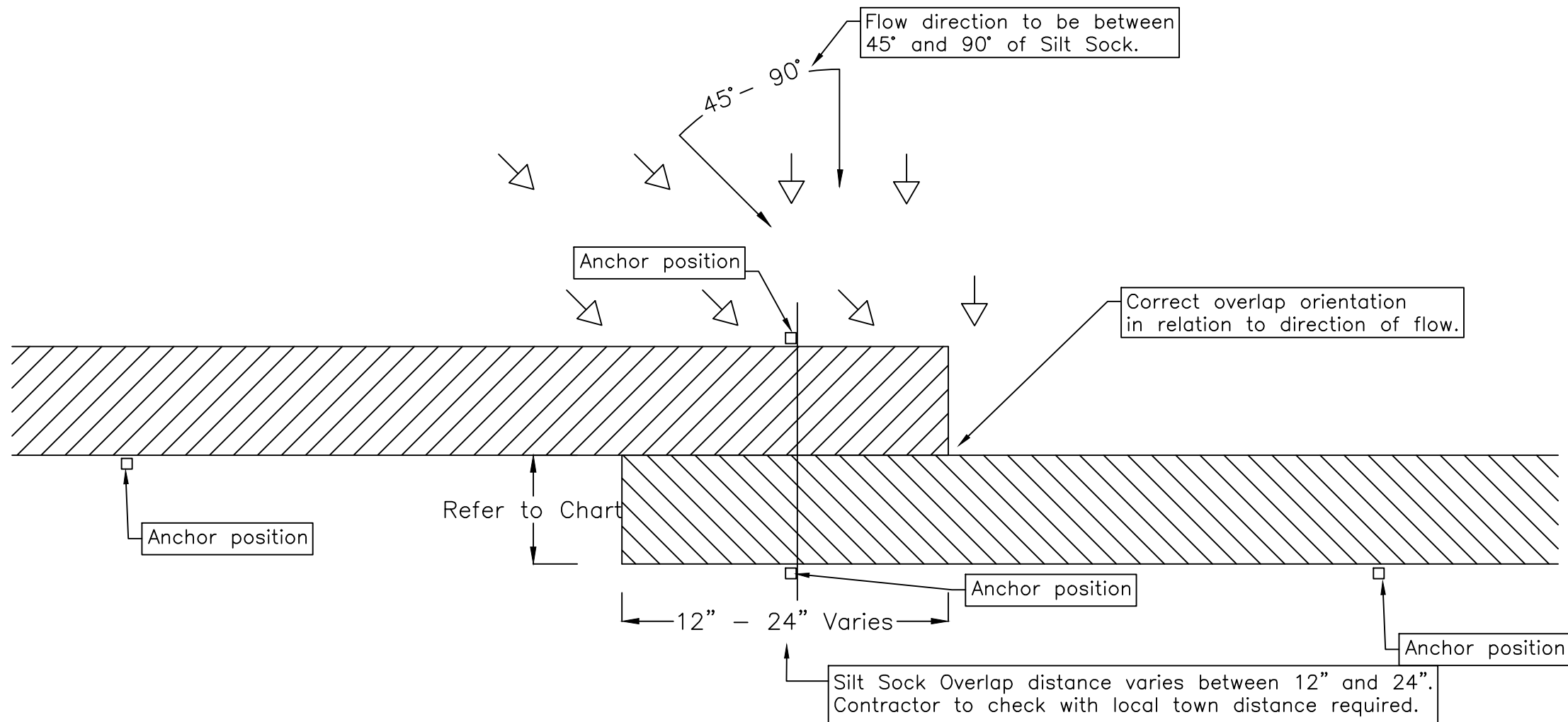
SCALE:
1" = 30'
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
08.05.2021
DRAWING NO.
C3.0



STABILIZED CONSTRUCTION ENTRANCE DETAIL

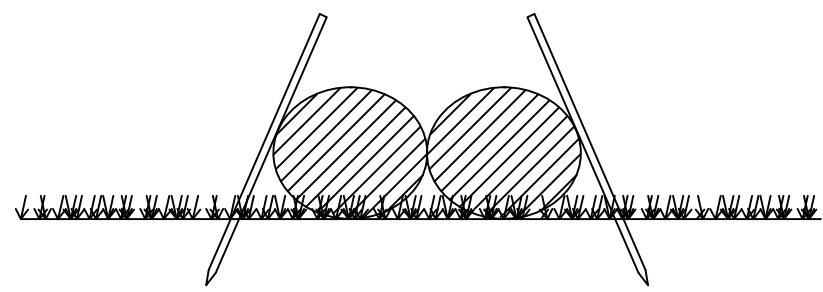
NOT TO SCALE

1. STONE SIZE – USE 2” STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CON-
STRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



Overlap Detail – PLAN

1) Anchors required at the overlap section are to stay outside the Silt Sock and not pierce through the material. See alternative anchor positons in details above.

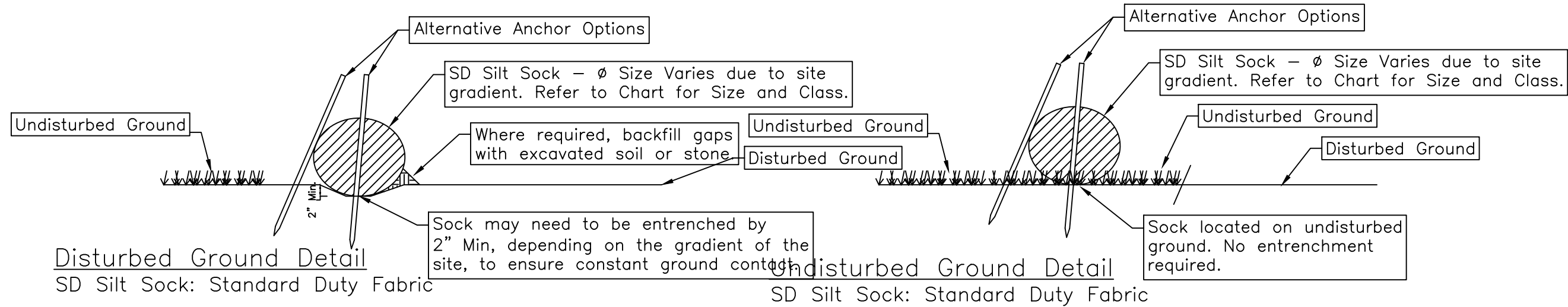


Anchor at Overlaped Ends – SECTION

Size & Class Chart	
Diameter	
Gradient	8” 12” 18”
0 – 2%	30 55 75
2.1 – 5%	25 40 55
5.1 – 10%	15 30 40
10.1 – 33%	10 15 20
> 33%	5 10 15

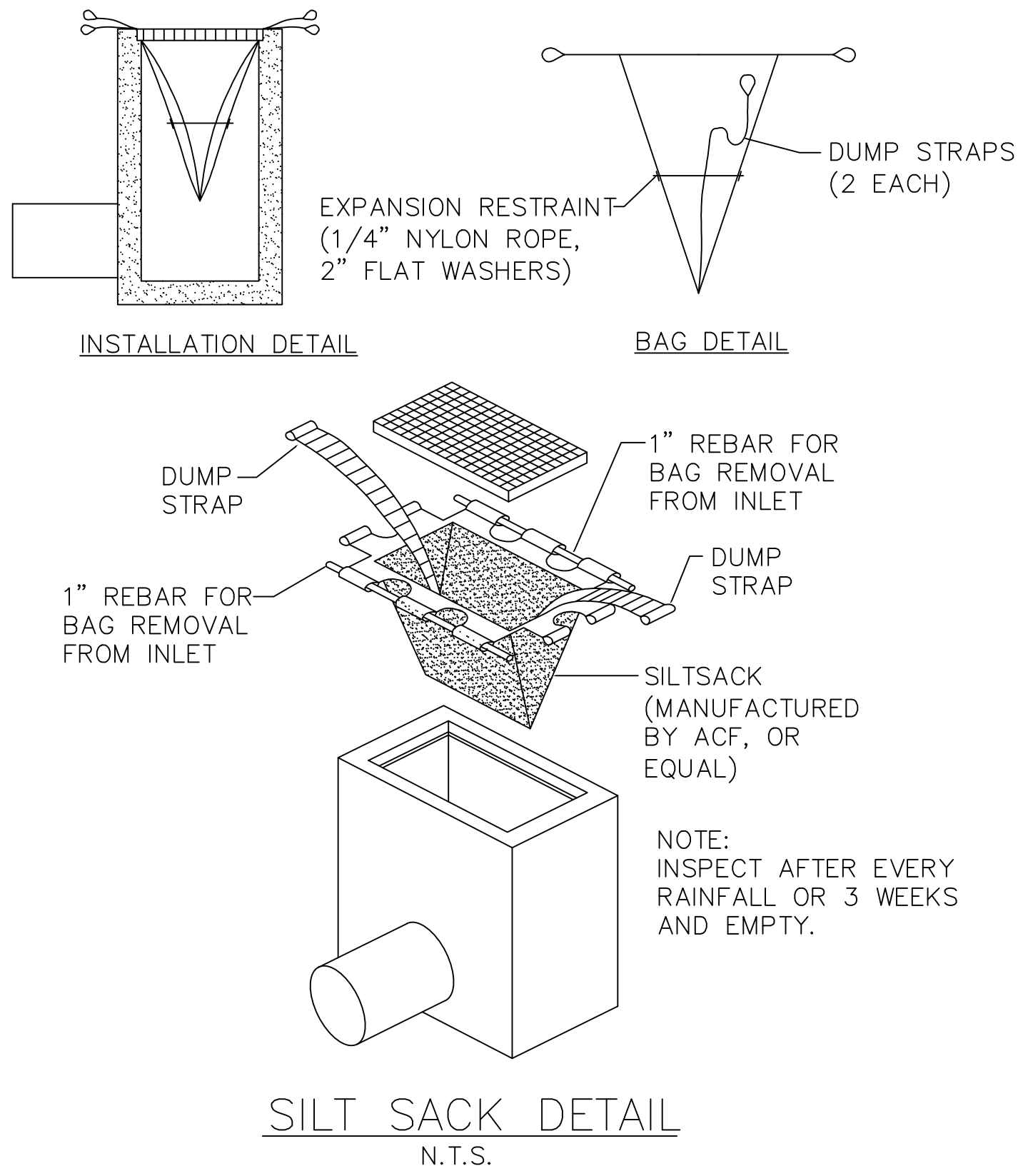
SD SILT SOCK DETAIL

SD Silt Sock: Standard Duty Fabric



Notes:

- 1 – Do not use sock below the normal watermark or perpendicular to flow in river and where the maximum incline is greater than 50%.
- 2 – Contractors should be aware of federal, state and local laws, rules regulations or permit requirements for the use of Silt Socks on site.
- 3 – Sock should be positioned on the outline of the area to be protected, but must be installed between 45° to 90° from directions of flow.
- 4 – Sock may be required to be entrenched a minimum of 2” on disturbed ground to ensure constant ground contact.
- 5 – All gaps and ruts must be backfilled with soil or sock material.
- 6 – Sock overlap should be in the direction of the flow. Overlap amount will be between 12” and 24”. Contractor to check with local town for requirements.
- 7 – If sediment collects to 1/2 the height of the sock, then a second sock may be stacked immediately up slope of the original instead of removing the sediment.
- 8 – Sock joint is where two sock sections meet on a level grade, overlap and adjoining ends, tightening the ends together, and anchoring through each end. Where two sections meet on un-level ground, j-hook higher elevated end, anchor, and begin new section just below. Back fill any gaps.
- 9 – Sock should be inspected and repaired as needed.
- 10 – If ruts begin under the sock they should be backfilled with soil and compacted so that the ground and sock have continuous contact.
- 11 – If sock rolls out of place, the sock should be repositioned and secured with additional anchors.
- 12 – Tears in the Sock fabric may be repaired by wrapping a new piece of fabric over the sock and securing, or by place a second sock immediately up slope with the required overlap beyond deformation.
- 13 – A section of sock should be replaced whenever it has weakened to such an extent that the efficiency is reduced or diminished. Weakening can occur because the natural mesh fabric breaks down over time of from being moved/dragged on site.
- 14 – Sock should be replaced when sediment has built up and has been removed three times.
- 15 – All sediment in disturbed area next to sock must be removed and correctly disposed of before the sock can be removed.
- 16 – When removing, cut sock open and spread the filler material around. The netting should be removed from site.
- 17 – Sock should be installed before works commence on site.



DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

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PROPERTY NUMBER: #5077
AREA: -

Amherst Commercial Park
4224 -4256 Ridge Lea Road
Amherst, NY 14226
PROPOSED PARKING
EXPANSION

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON
DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
Demolition and
Erosion Control
Details

SCALE:
NTS
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 08.05.2021
DRAWING NO.:
C3.1

PROPOSED PARKING ANALYSIS			
USE	CODE	REQUIRED	PROVIDED
MULTI-TENANT OFFICE BUILDINGS	2.5 SPACE / 1,000 SF	#4224 - 90,524 S.F. #4228 - 3,365 S.F. #4230 - 85,700 S.F. #4232 - 21,853 S.F. #4234 - 21,940 S.F. #4236 - 21,950 S.F. #4238 - 21,719 S.F. #4240 - 29,154 S.F. #4242 - 21,862 S.F. #4244 - 21,858 S.F. #4246 - 20,041 S.F. #4248 - 21,857 S.F. #4250 - 21,952 S.F. #4252 - 21,706 S.F. #4254 - 21,719 S.F. #4256 - 21,736 S.F. TOTAL = 468,936 S.F. (2.5 SPACES/1000SF)	1,622 SPACES
TOTAL		1,173 SPACES	1,622 SPACES
STALL SIZE		9'x19'	9'x19'

TOWN OF AMHERST, NY ZONING ANALYSIS		
	REQUIRED	PROVIDED
ZONED (CTR-8)	CTR-8	CTR-8
RETROFIT FRONTAGE		
PARKING SETBACKS:		
FRONT - STREET	10'	Existing
SIDE YARD	N/R	18.7'
REAR YARD	N/R	81.1"

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No.	DATE	BY	REMARKS

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EXPANSION

CONSULTANT

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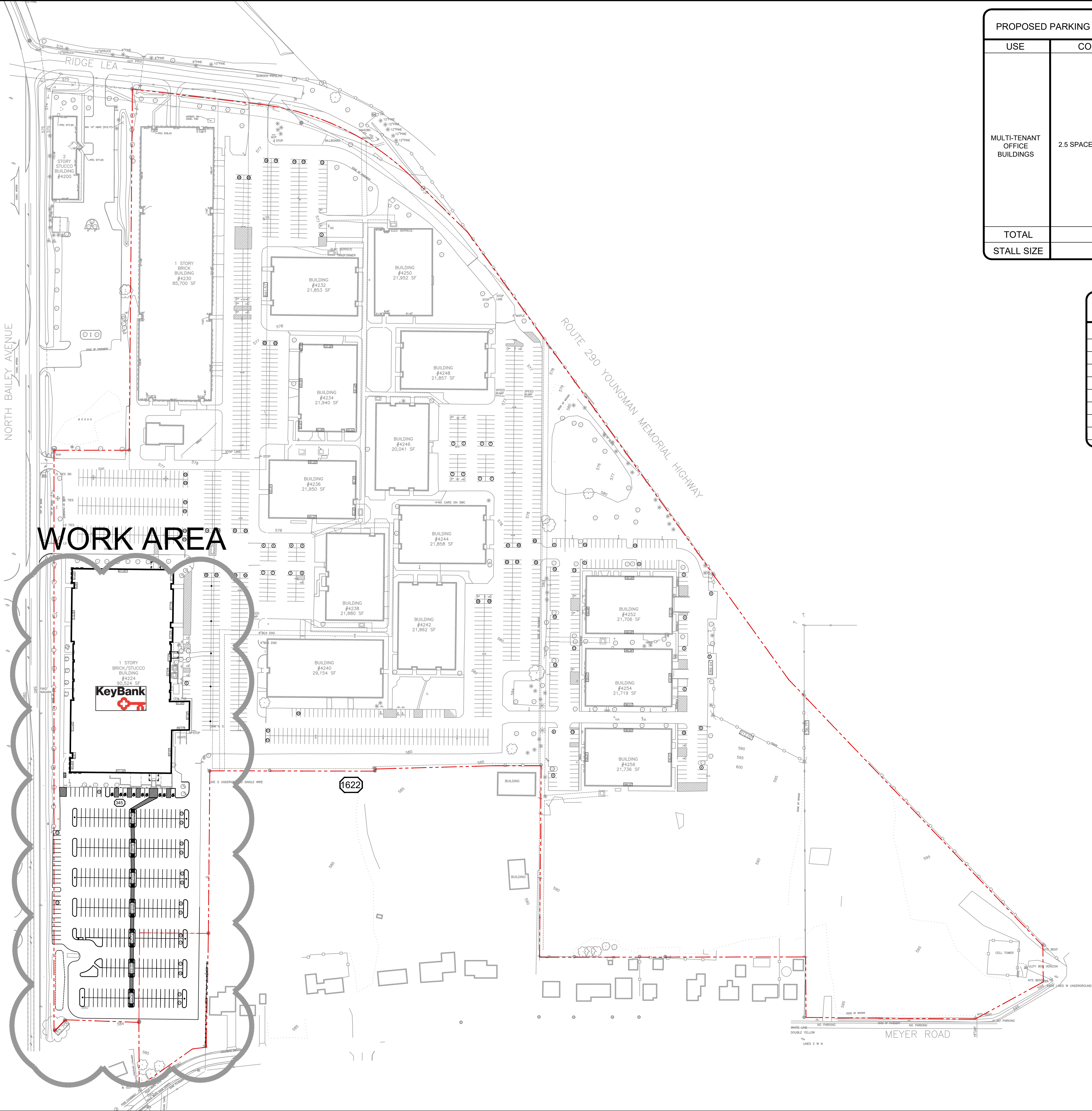
SEAL



TITLE:
Overall
Site Plan

SCALE:
1" = 100'
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
08.05.2021

DRAWING NO.
C4.0



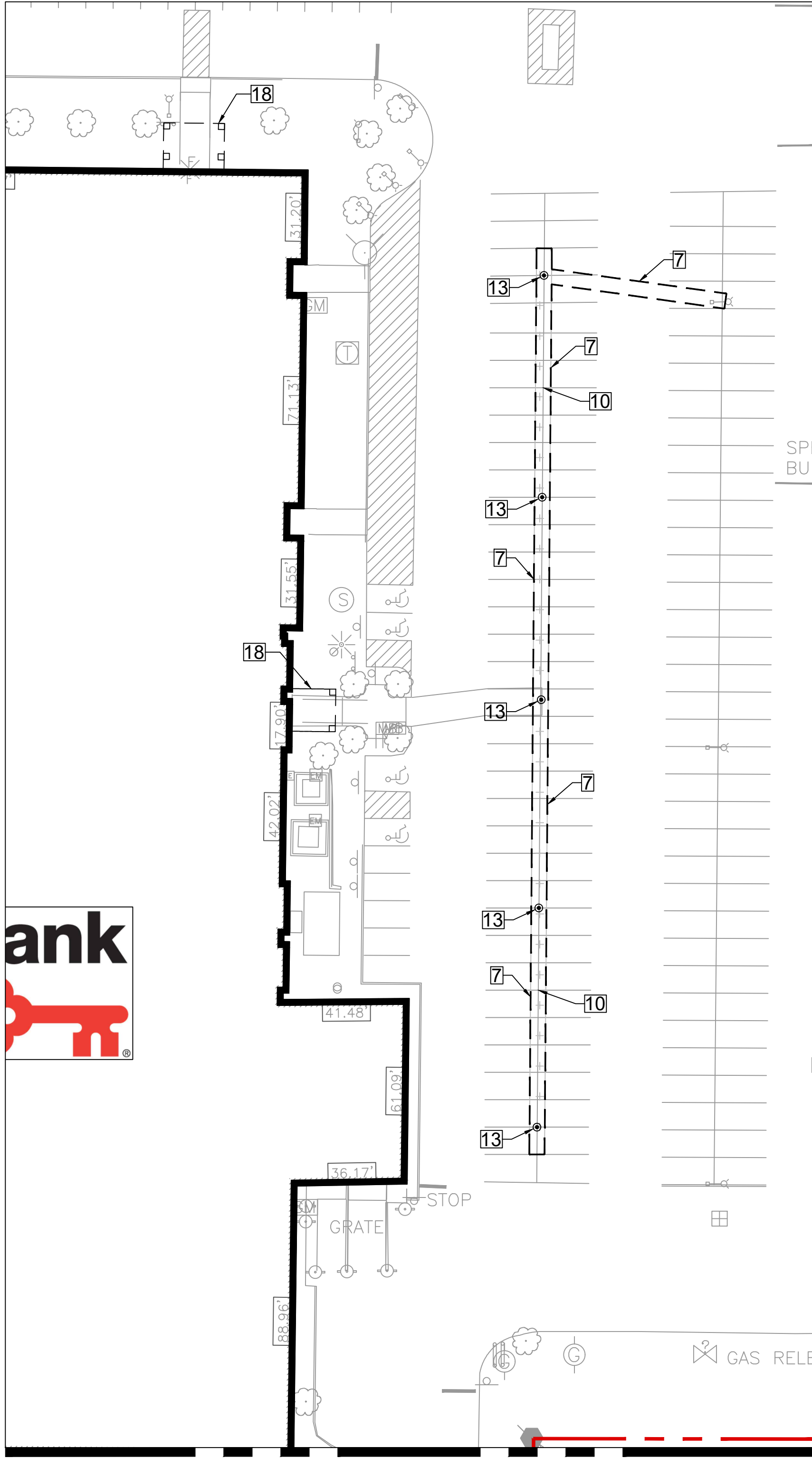
- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

- SITE NOTES: #
1. Proposed 6" concrete Curb.
 2. Proposed 3' Curb Opening with Rip Rap
 3. Match into Existing Curb or runoff over 2'.
 4. Proposed Standard Duty Pavement.
 5. Proposed Heavy Duty Pavement.
 6. Proposed 1" Overlay Asphalt Pavement
 7. Match into Existing Pavement.
 8. Proposed "Handicapped Parking Only" sign.
 9. Proposed "No Parking" sign.
 10. 4" Yellow Pavement Stripe (at 2' c-c in no parking zones).
 11. Proposed White Pavement symbol (stop bar, directional arrows, accessibility symbol, text)
 12. Proposed Landscape Area.
 13. Proposed Light Pole Base
 14. Proposed Board on Board Fence
 15. Proposed Curb Return Pedestrian Ramp.
 16. Proposed Concrete Sidewalk.
 17. Proposed Illuminating Bollard.
 18. Proposed Canopy. Refer to Architectural Plans
 19. Proposed Bike Rack.

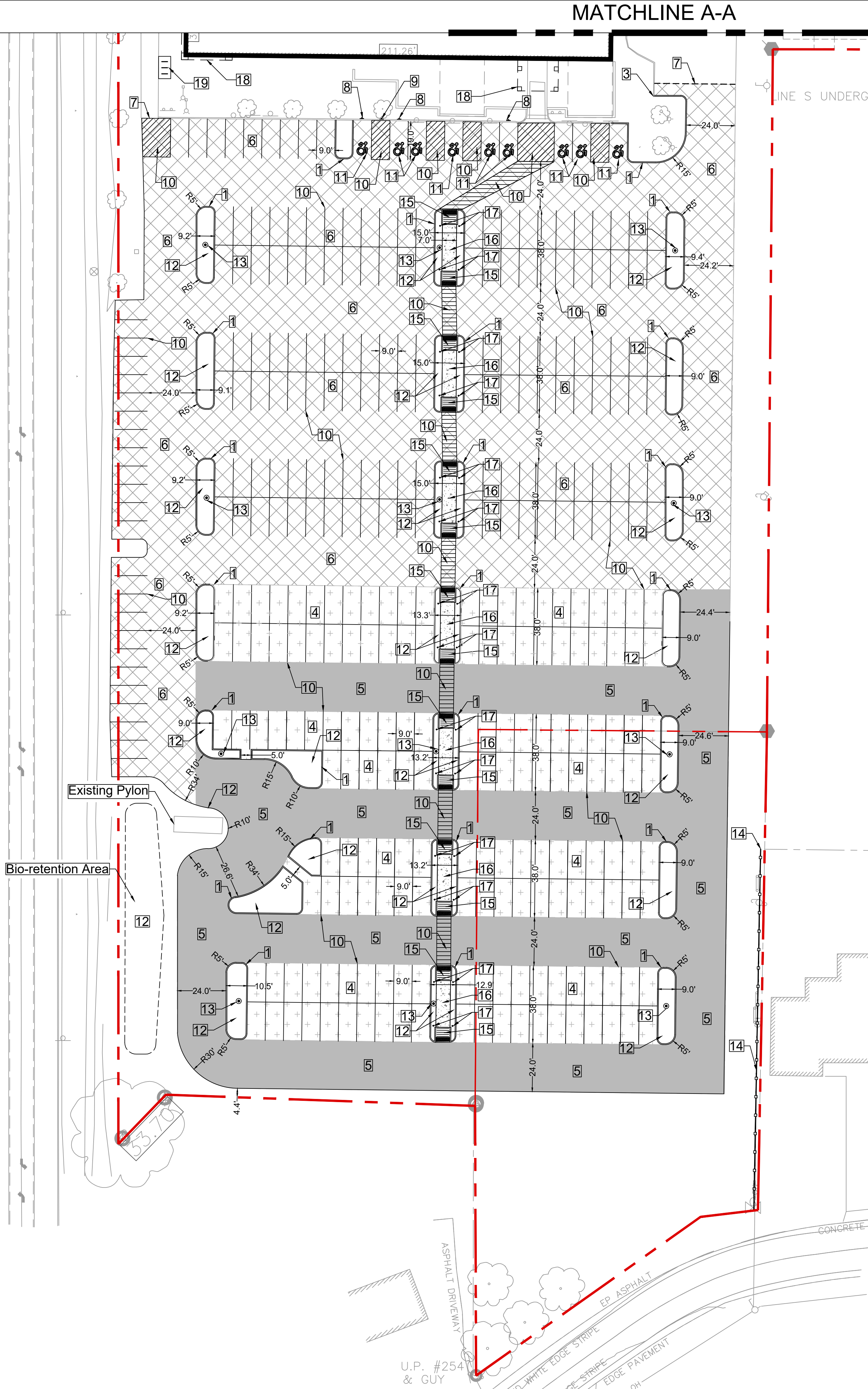
NB: All curb Radii to be 3' unless otherwise noted.

- SITE LEGEND:
- Property line
 - 6" Curb (typ.)
 - Proposed sign & pole
 - Proposed Standard Duty Pavement (Full Depth)
 - Proposed Heavy Duty Pavement (Full Depth)
 - Proposed Mill and 1" Overlay Asphalt Pavement
 - Proposed Concrete Slidewalk
 - Proposed ADA Detectable Warning Strip

* All curb radii are 3ft unless noted. Refer to General Notes, Concruction Details and Architectural Plans for Concrete Sealer information.



MATCHLINE A-A



DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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4224 -4256 Ridge Lea Road
Amherst, NY 14226

**PROPOSED PARKING
EXPANSION**

CONSULTANT

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ARCHITECT
PREPARED FOR

**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:

**Detailed
Site Plan**

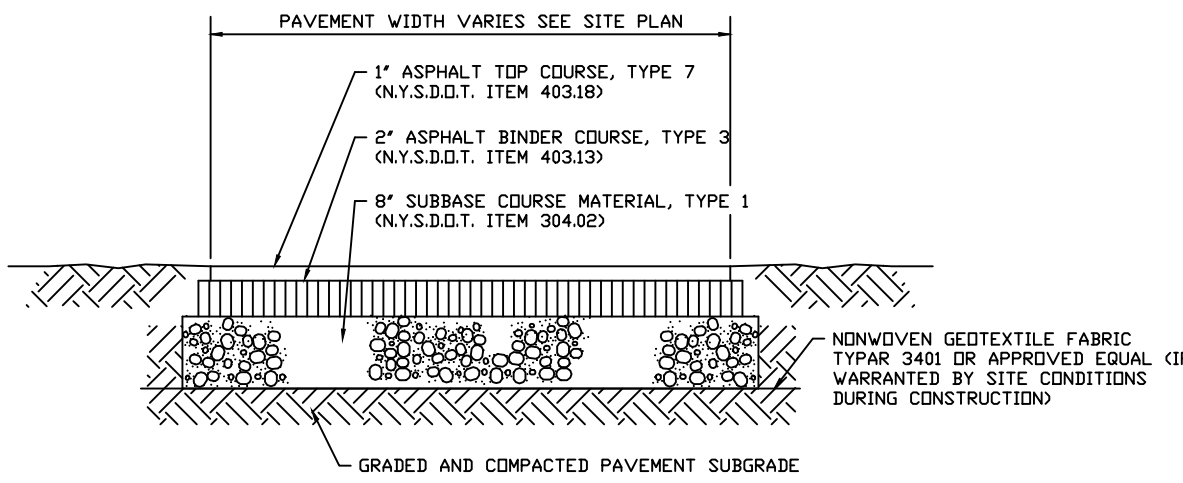
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1" = 30'

DRAWN BY:
DMZ

CHECKED BY:
MAO

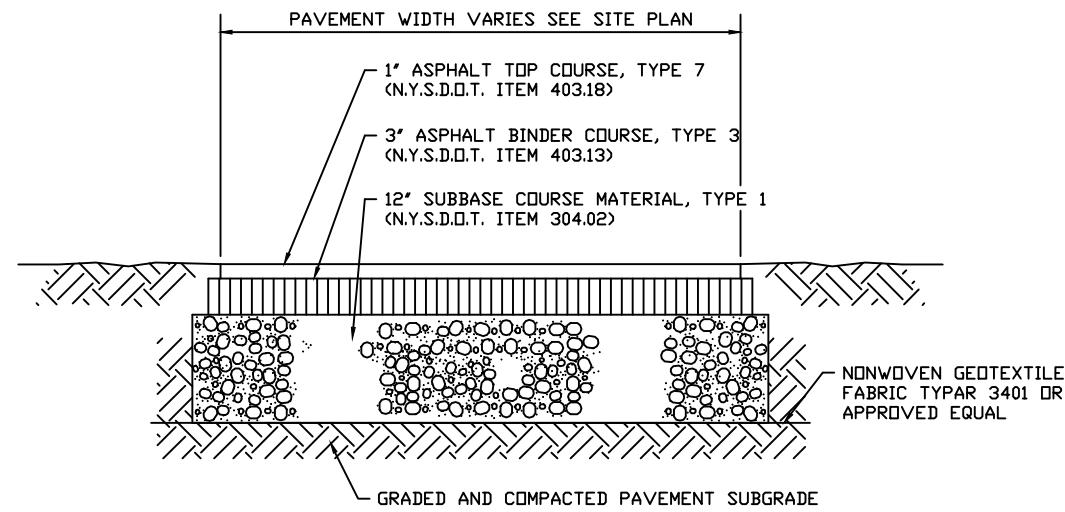
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08.05.2021

DRAWING NO.
C4.1



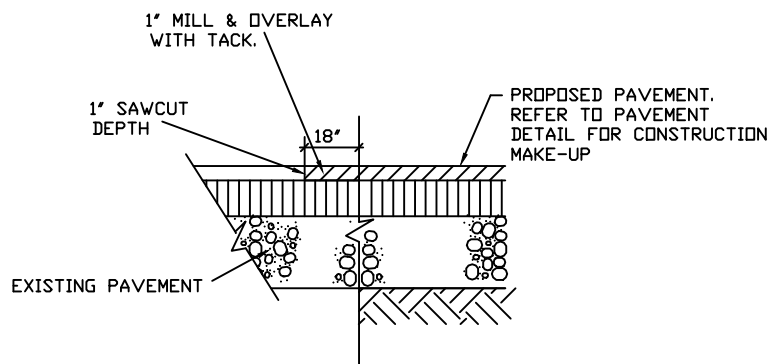
NOTE: CONSTRUCTION METHODS FOR ASPHALT PAVEMENT SHALL CONFORM TO NYSOT STANDARD SPECIFICATION 401-3, WITH SUBBASE CONSTRUCTION METHODS CONFORMING TO NYSOT STANDARD SPECIFICATION 304-3.

STANDARD DUTY ASPHALT SECTION

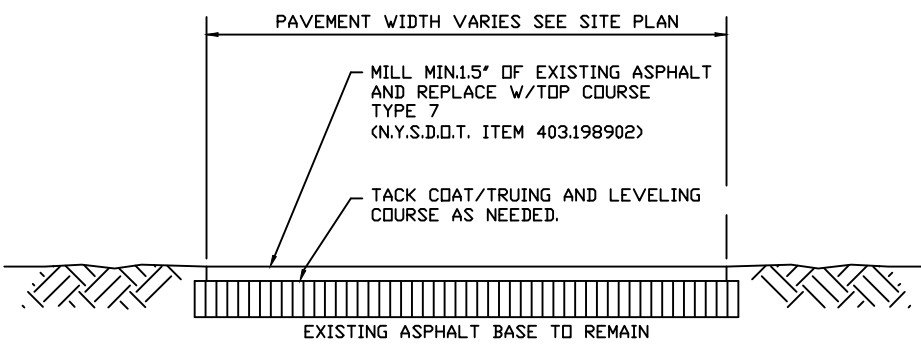


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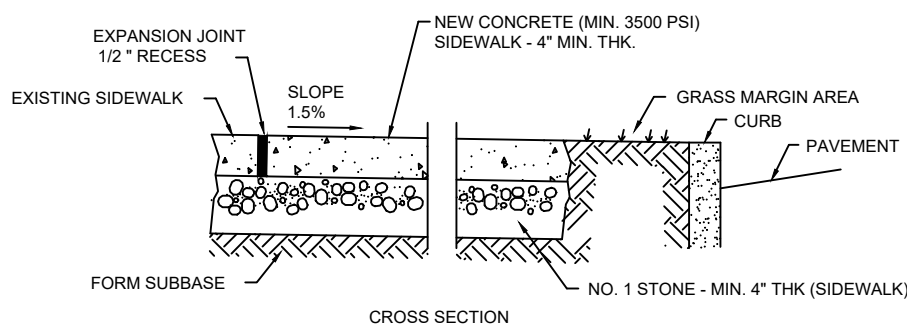
HEAVY DUTY ASPHALT SECTION



PAVEMENT TRANSITION DETAIL (ASPHALT PAVEMENT)



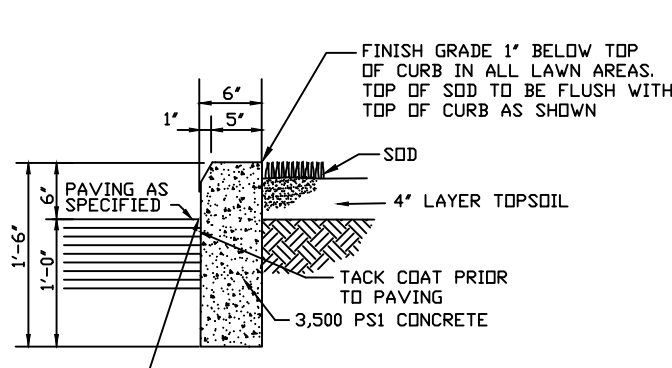
ASPHALT MILLING & OVERLAY DETAIL



NOTES:
1. CONTROL JOINTS TO BE AT 5'-0" O.C. BOTHWAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYSOT 702-0700.
2. CONCRETE SIDEWALK MATERIAL SHALL CONFORM TO NYSOT STANDARD SPECIFICATION 601-3 AND CONSTRUCTION METHODS SHALL CONFORM TO NYSOT STANDARD SPECIFICATION 601-3.
3. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
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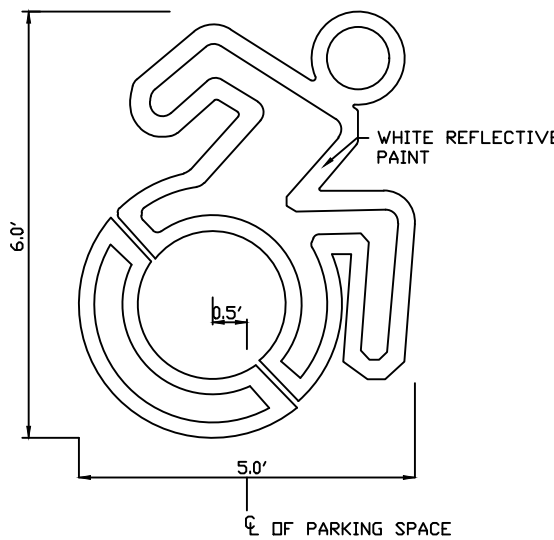
REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES FOR SIDEWALKS.

STANDARD CONCRETE SIDEWALK

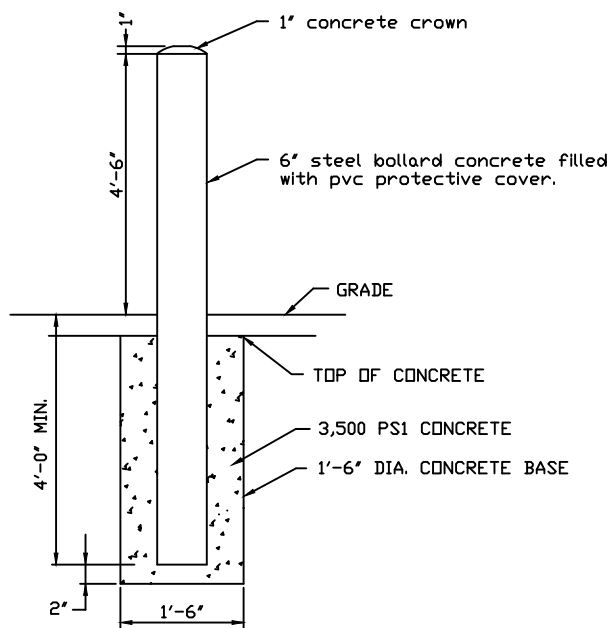


NOTE: CONTROL JOINTS TO BE 2' DEEP AT 15'-0" O.C. BOTHWAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYSOT 702-0700.

TYPE "A" CONCRETE CURB

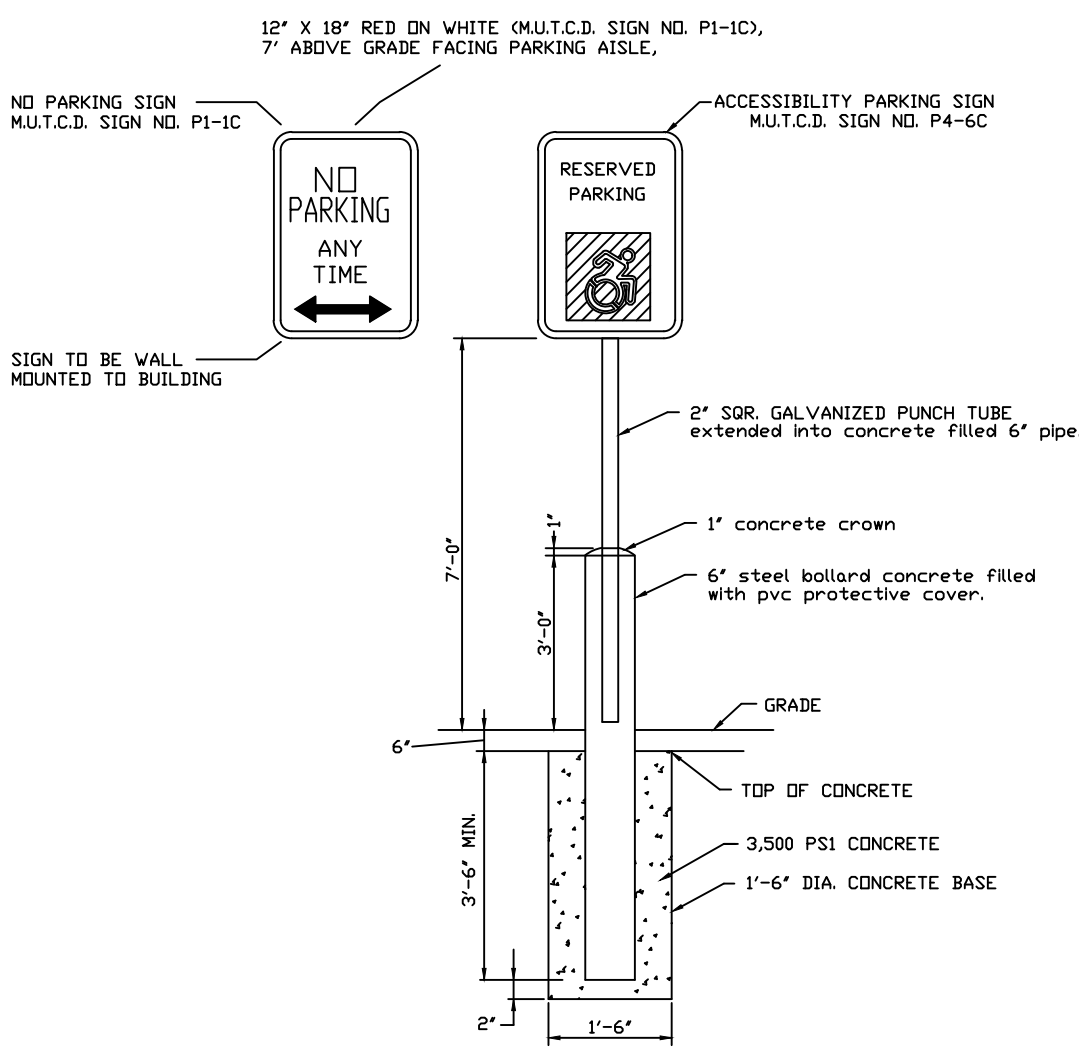


INTERNATIONAL ACCESSIBILITY SYMBOL



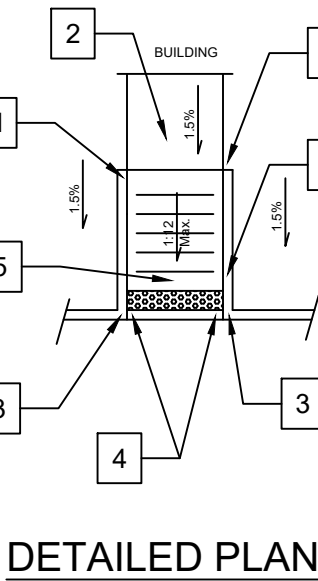
6" BOLLARD DETAIL

Refer to Lighting Specifications for lit bollards

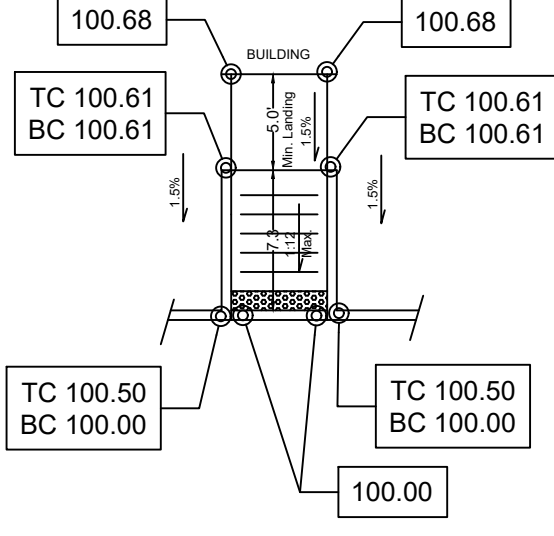


HANDICAP / NO PARKING SIGNS

- Site Notes: []
1. Proposed curb return to be flush with sidewalk
 2. Proposed concrete sidewalk
 3. Proposed 6" curb reveal
 4. Proposed flush curb & Tactile Warning
 5. Proposed ramp (1:12 max.)
 6. Transition Curb

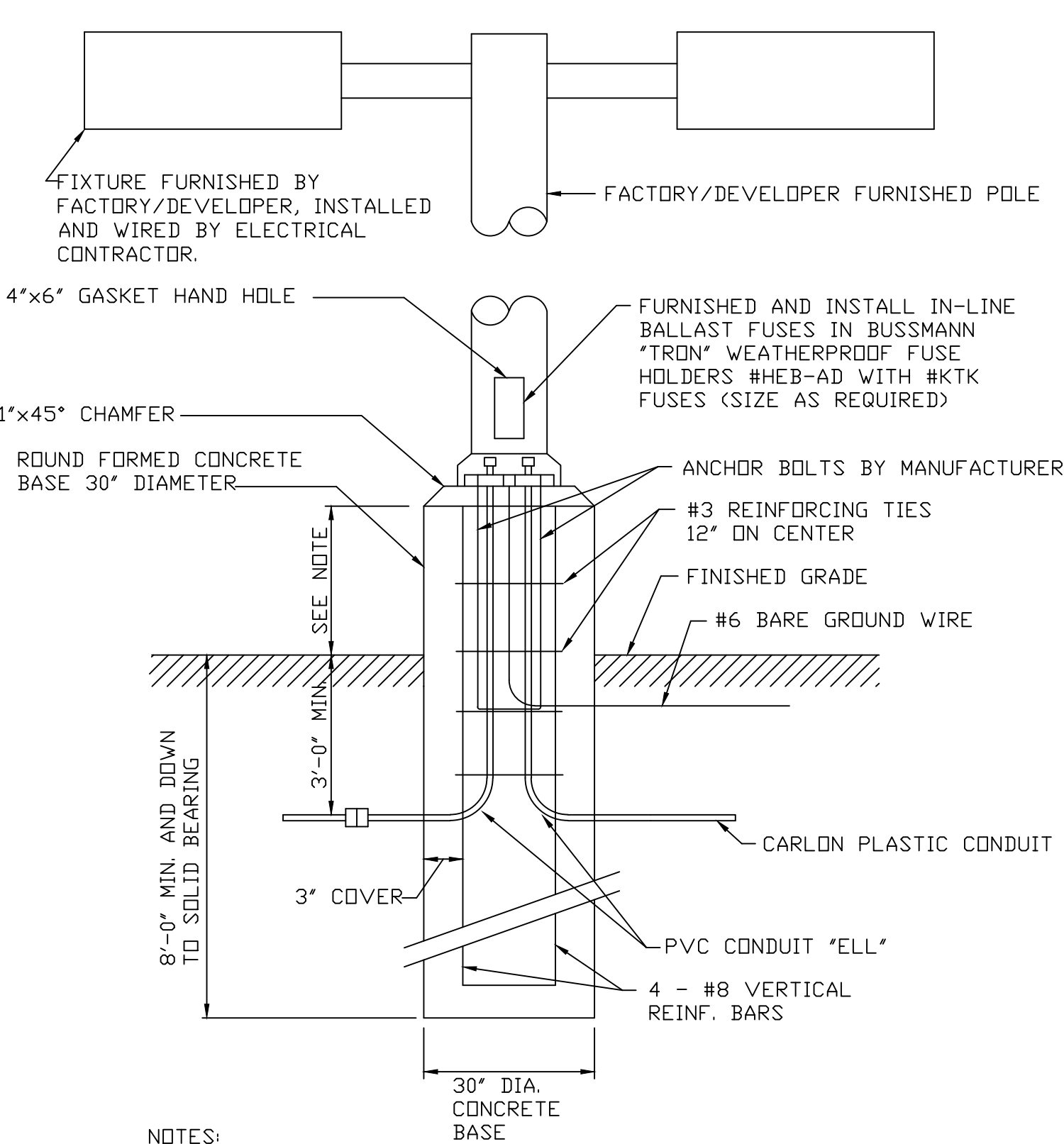


DETAILED PLAN



GRADING PLAN

Curb Return Ramp Detail (Typ.)
(To be read in conjunction with Engineering Plans and Details)
Spot levels are indicative - Refer to Grading Plan



NOTES:
1. FOR LOCATIONS OF FOUNDATIONS SEE SITE PLAN
2. FOR LIGHT FIXTURE ORDERING INFORMATION SEE SITE LIGHTING PLAN
3. LIGHT POLE BASE EXPOSURE ABOVE GRADE SHALL BE:
IN CURBED ISLANDS: 6" ABOVE TOP OF CURB ELEVATION
IN PAVEMENT: 3" ABOVE GRADE
IN NON-CURBED GRASS AREAS: 6" ABOVE GRADE

LIGHT POLE FOUNDATION

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

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DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
Construction Details

SCALE:
NTS
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 08.05.2021
DRAWING NO.:
C4.2

- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
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 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
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 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.)
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
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 12. LIGHTING FIXTURE MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

GRADING LEGEND:

Property Line

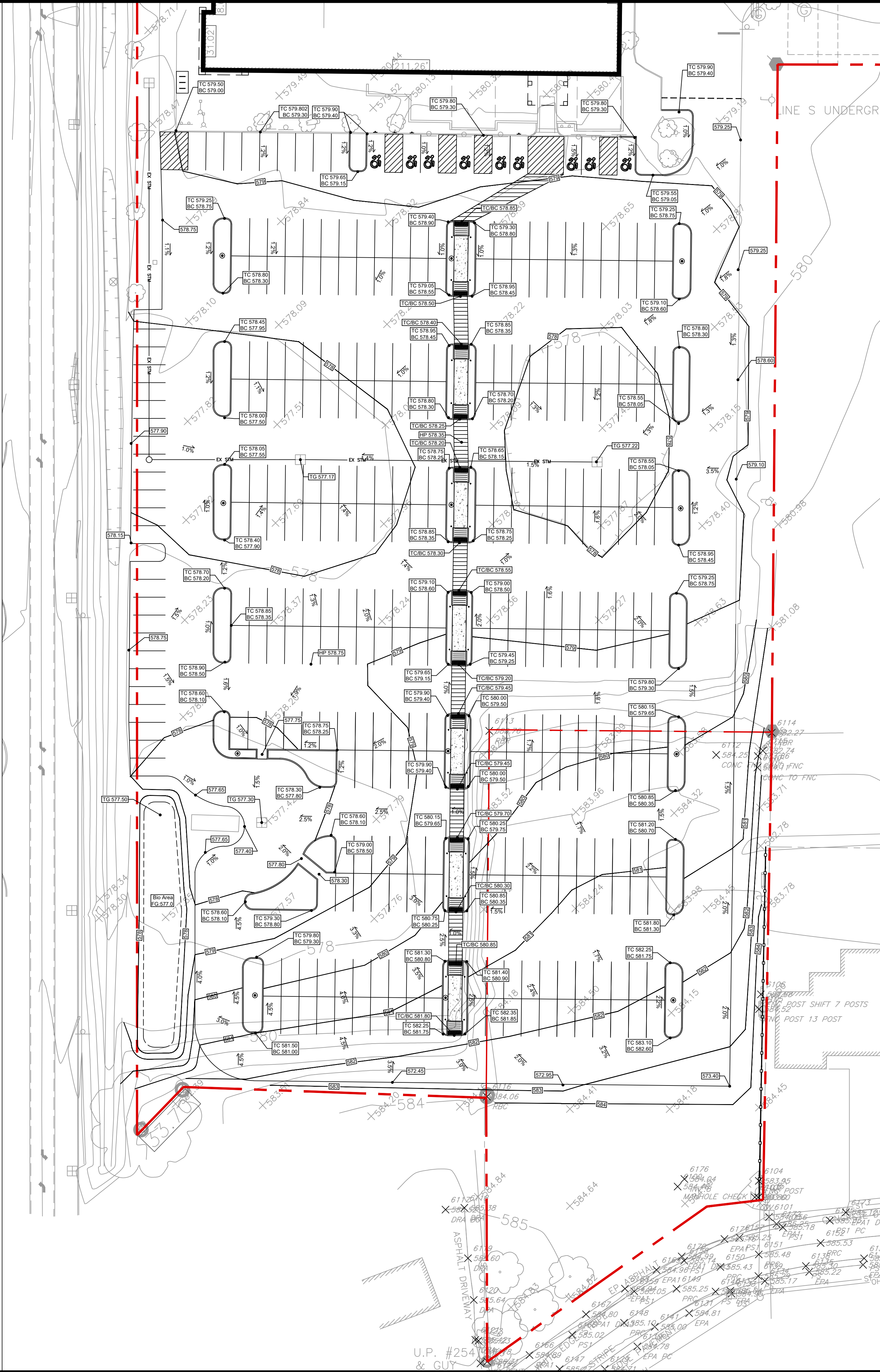
6" Curb (typ).



Catch Basin - Top of Grade

Proposed Contour Line

Slope Direction



DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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NOTICE

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PROPERTY NUMBER:
#5077

AREA:

Amherst Commercial Park
4224 -4256 Ridge Lea Road
Amherst, NY 14226

PROPOSED PARKING
EXPANSION

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON
DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:

Grading
Plan

SCALE:

1" = 30'

DRAWN BY:

DMZ

CHECKED BY:

MAO

DATE:

08.05.2021

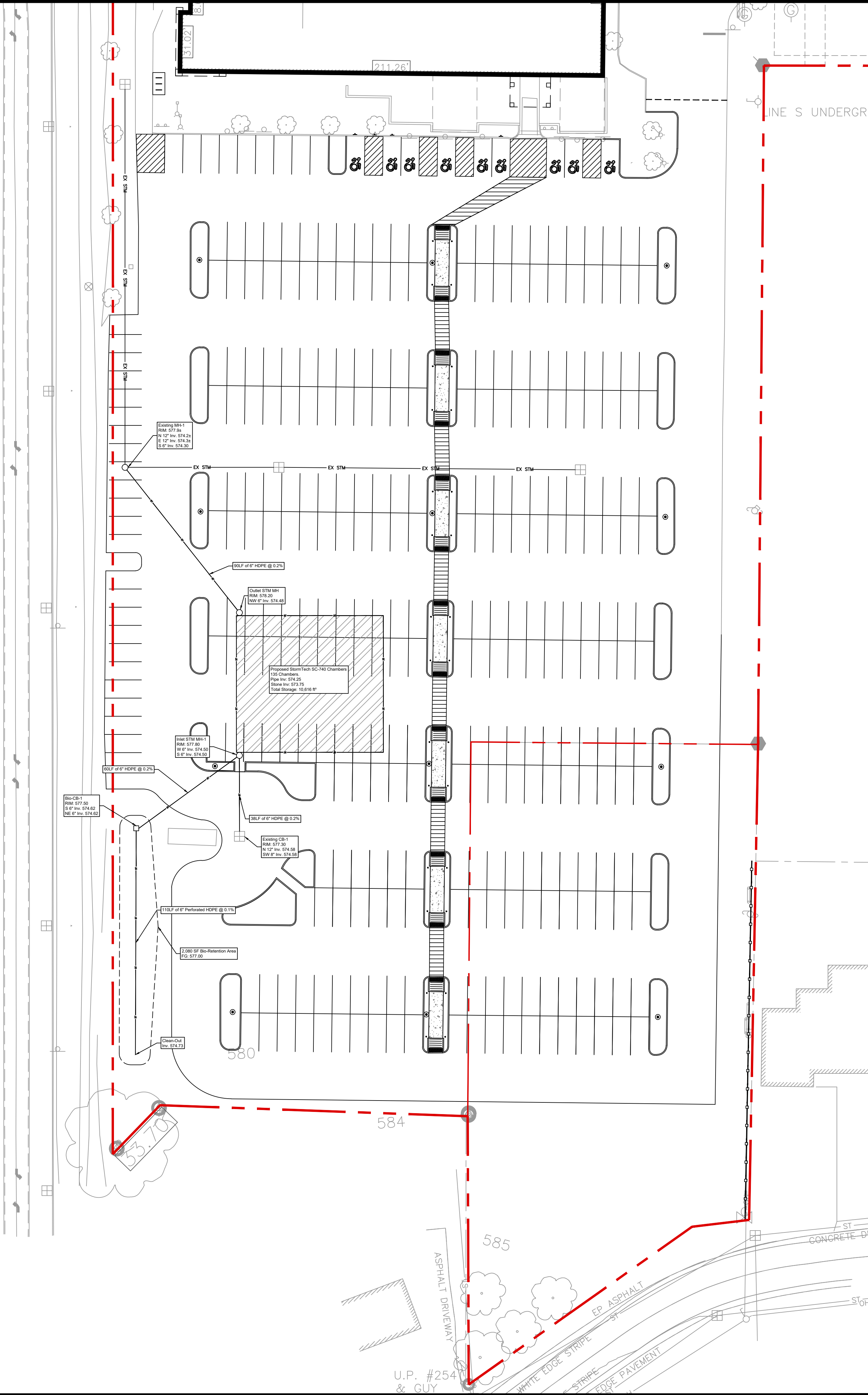
DRAWING NO.

C5.0

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DRAINAGE LEGEND:

- PROPERTY LINE
- PROPOSED STORMWATER
- 6" CURB TYP.
- CO / WC PROPOSED STORM CLEAN OUT / WYE CONNECTION
- CB - # PROPOSED CATCH BASIN



DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON
DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:

Drainage Plan

SCALE:
1" = 30'

DRAWN BY:
DMZ

CHECKED BY:
MAO

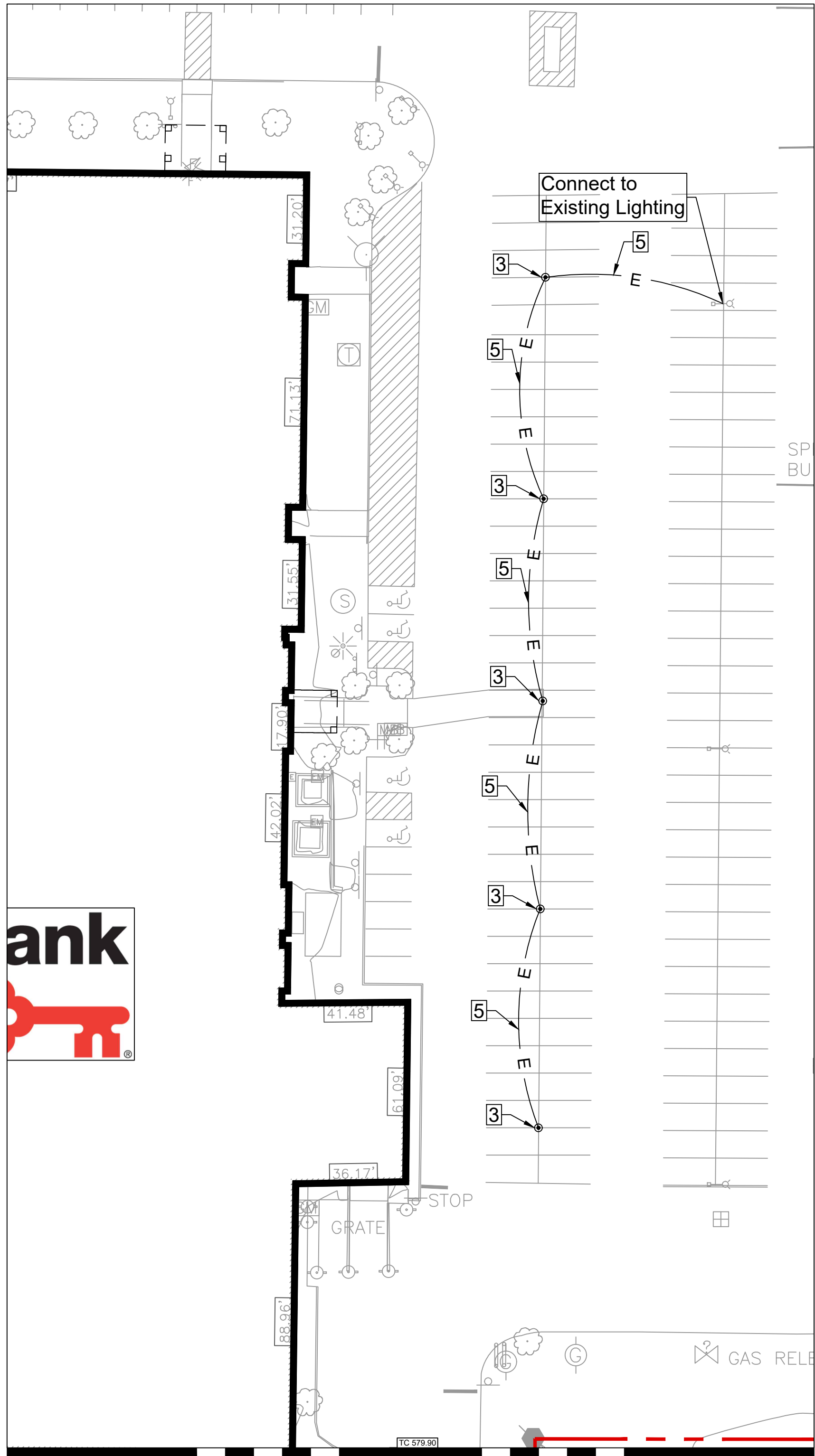
DATE:
08.05.2021

DRAWING NO.
C5.1

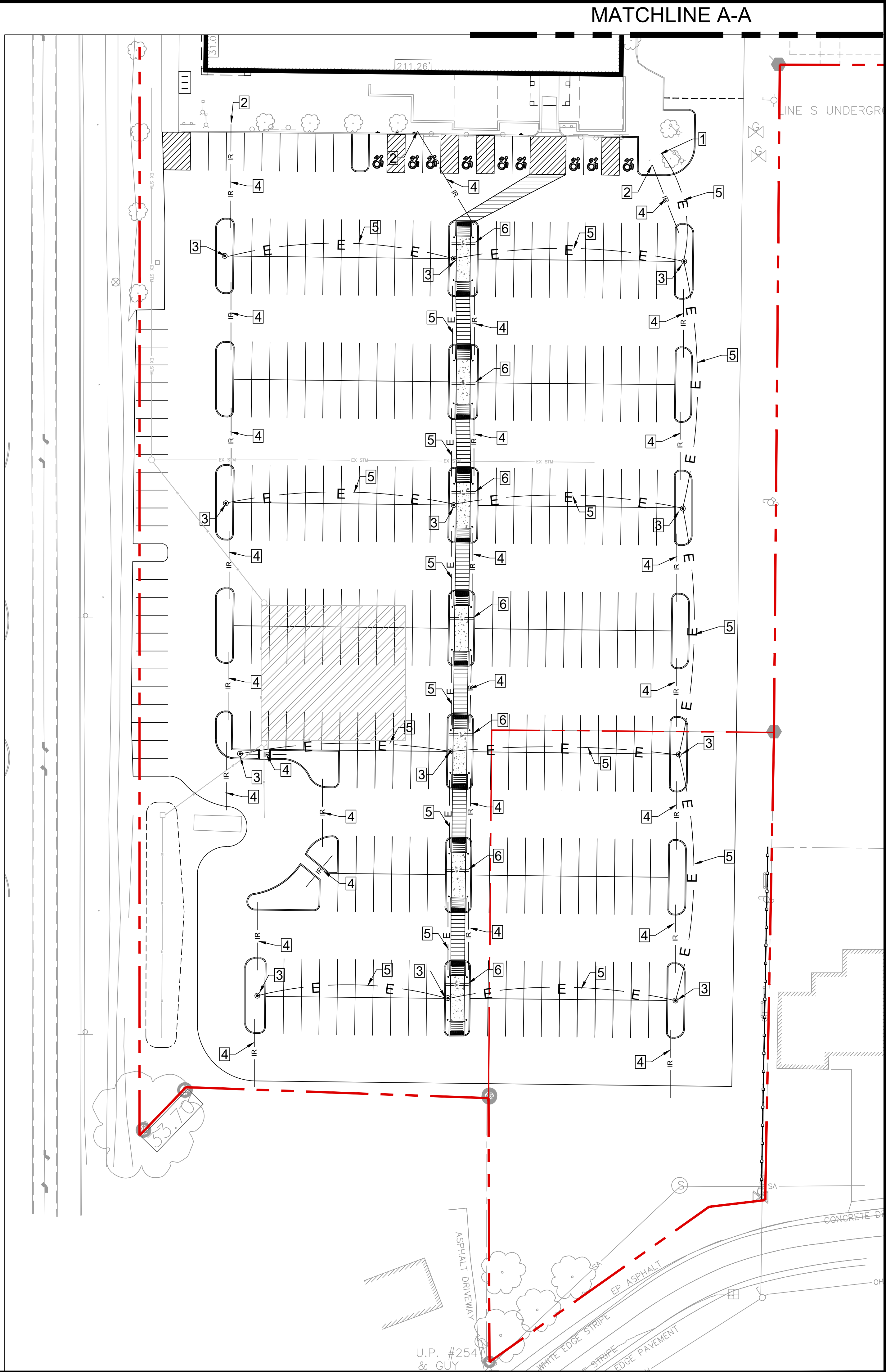
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- CONDUIT NOTES: #
1. Connect to House Panel
 2. Connect to Existing Irrigation
 3. Proposed Light Pole Base.
 4. Proposed 4" PVC Sch. 40 for Irrigation Crossing
 5. Proposed 1" PVC Sch 40 Conduit for Site Lighting
 6. Irrigation and Bollard Lighting Conduit Sleeves
- *Refer to Electrical Plans for equipment specifications

- CONDUIT LEGEND:
- PROPERTY LINE
 - 4" PVC IRRIGATION LINE
 - 1" PVC CONDUIT FOR SITE LIGHTING



MATCHLINE A-A



DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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CONSULTANT

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570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE: Utility Plan

SCALE: 1" = 30'

DRAWN BY: DMZ

CHECKED BY: MAO

DATE: 08.05.2021

DRAWING NO. **C6.0**

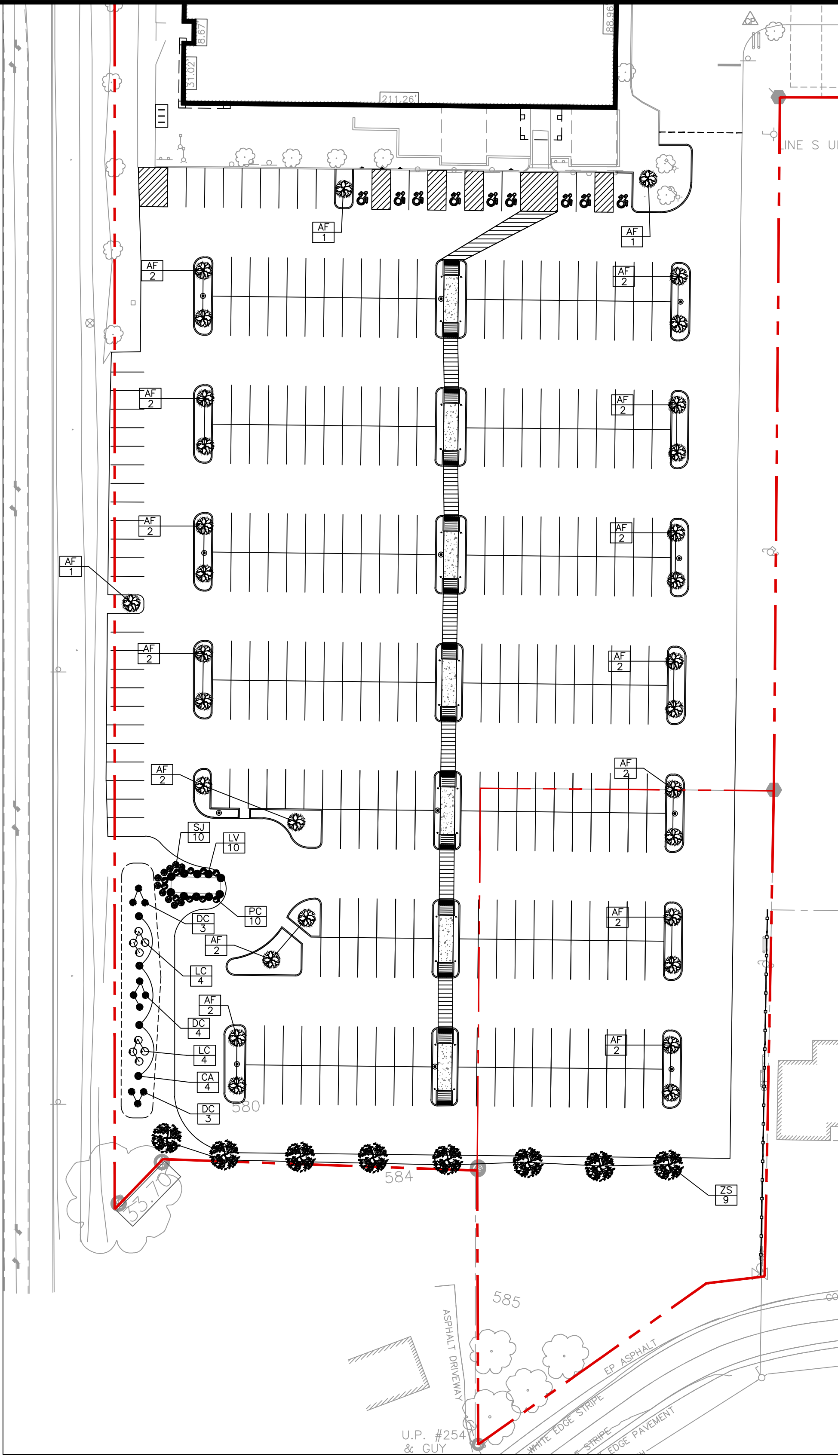


Overall Landscaping Plan
Scale: 1" = 150'

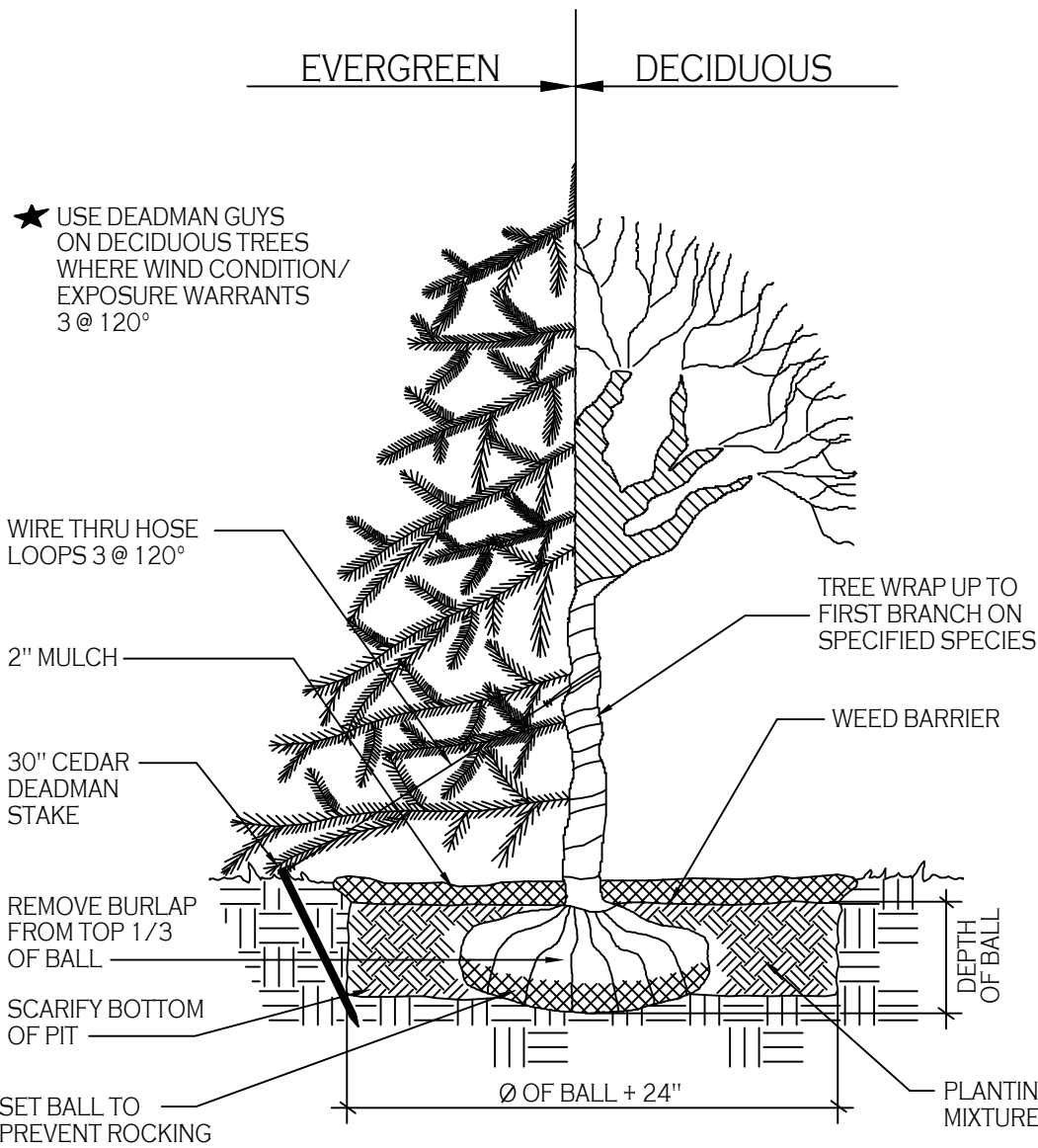
- LANDSCAPE NOTES:
- ALL PLANTS INSTALLED SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED ON THE PLANS AND IN THE LATEST EDITION ON THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF, THE QUANTITIES SHOWN ARE A MINIMUM AND ARE FOR REFERENCE ONLY.
 - THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANTING MATERIAL LOCATIONS AND CONTACT THE OWNERS FIELD REPRESENTATIVE PRIOR TO ACTUALLY INSTALLING. THE PLANTING MATERIAL LOCATIONS SHOWN ON THE PLANS ARE TO CONVEY THE DESIGN INTENT ONLY, ACTUAL LOCATIONS WILL BE FINALIZED BY THE OWNERS FIELD REPRESENTATIVE AT THE TIME OF INSTALLATION.
 - THE CONTRACTOR IS HEREBY NOTIFIED THAT IF UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE PLANTINGS, ALL PROPOSED PLANTINGS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY UNDERGROUND UTILITY, CONTACT THE OWNERS FIELD REPRESENTATIVE IF PLANTINGS SHOWN ON THE PLANS VIOLATE THIS SITUATION.
 - ALL TREES SHALL BE INSTALLED A MINIMUM OF 10' FROM ANY OVERHEAD ELECTRIC LINES.
 - PLANTING BACKFILL MIXTURE SHALL CONSIST OF 4 PARTS TOPSOIL, 1 PART PEAT MOSS, ½ PART WELL ROTTED MANURE, 10 LBS 5-10-5 PLANTING FERTILIZER THOROUGHLY MIXED PER CUBIC YARD.
 - STAKE AND WRAP TREES IMMEDIATELY FOLLOWING INSTALLATION.
 - ALL PLANTED AREAS SHALL RECEIVE A MAX. 2" LAYER OF COCOA BROWN MULCH. WEED MAT EQUAL TO "WEEDBLOCK" BY EASY GARDENER OR DEWITT WEED BARRIER.
 - ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL BE PROVIDED WITH SOD. SEED PERMITTED AT DETENTION POND IF PLANTED EARLY ENOUGH TO ESTABLISH.
 - THE AREAS ON THE PLAN TO BE SEEDED SHALL HAVE 4" MINIMUM OF TOPSOIL, DISK PLOWED, LEVELED AND HAND RAKED SMOOTH. SURFACE SHALL BE ROLLED TO REMOVE LUMPS.
 - ALL SEEDED AREAS SHALL BE HYDROSEEDING IN ACCORDANCE WITH THE SPECIFICATION INDICATED. WHERE REQUIRED BY CLIMATIC CONDITIONS, SLOPE OR SEASON OF PLANTING.
HYDROSEED SPEC: 20% RYE, 20% BLUE GRASS, 60% TURF TYPE FESCUE. SOD MAY BE SUBSTITUTED FOR SEEDING IN ORDER TO ACHIEVE THE REQUIRED COVERAGE (REFER TO CONTRACTOR FOR SOD/SEED COVERAGE).
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER, THIS SHALL INCLUDE WATERING DAILY FOR 15 DAYS OR AS REQUIRED BY WEATHER CONDITIONS AND RE-SEEDING OF THIN SPOTS FOLLOWING THE GERMINATION OF THE SEEDS.
 - CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING TREES ONSITE AND OFFSITE, WHICH ARE TO BE PRESERVED, FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE AS PER REQUIREMENT OF ZONING §203-7-2.3-B (3) OF TOWN OF AMHERST TOWN CODE.
 - ALL PREVIOUSLY REQUIRED TREES AND SHRUBS SHALL BE ALIVE AND IN A VIGOROUS CONDITION AS PER TOWN OF AMHERST ZONING §203-7-2-7. ALL DEAD OR MISSING PLANTS SHALL BE REPLACED OR RE-PLANTED IN THE LOCATION SHOWN ON PLAN.

LANDSCAPING INDEX						
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	CAL.	SIZE	ROOT
[TREES]						
	AF	Acer x freemanii 'Armstrong'	FREEMAN MAPLE	2-1/2"		B&B 31
	ZS	Zelkova serrata 'Musashino'	JAPANESE ZELKOVA MUSASHINO	2-1/2"		B&B 9
[SHRUBS & GRASS]						
	SJ	Spiraea japonica 'Gold Mound'	GOLD MOUND SPIRAEA		*NO.5	3 GAL. 10
	PC	Prunus x cistena	PURPLELEAF SAND CHERRY		*NO.5	3 GAL. 10
	LV	Ligustrum x 'Vicary'	GOLDEN VICARY PRIVET		*NO.5	3 GAL. 10
[BIO-RETENTION AREA]						
	CA	Cornus amomim	SILKY DOGWOOD		24"	3 GAL. 4
	LC	Lobelia cardinalis	CARDINAL FLOWER		24"	3 GAL. 8
	DC	Deschampsia oesitosa	TUFTED HAIR GRASS		18"	3 GAL. 10
[EXISTING TREE]						
	Existing Tree	Deciduous and Evergreen	-	>4"		>200
	Existing Shrub	Various Species/ Building Landscaping	-	-		>600

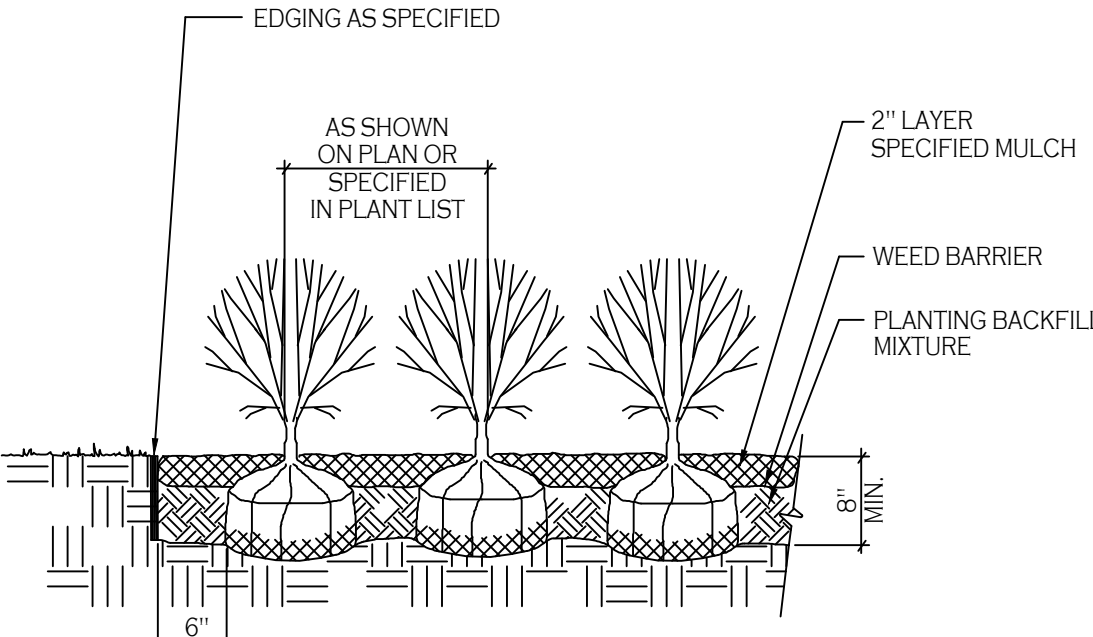
*All Shrubs shall have a minimum height of 24" at the time of planting per Zoning §203-7-2-3 (A) 3 (g)



Proposed Landscaping Plan
Scale: 1" = 40'



STD. TREE PLANTING



STD. SHRUB PLANTING

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

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SEAL



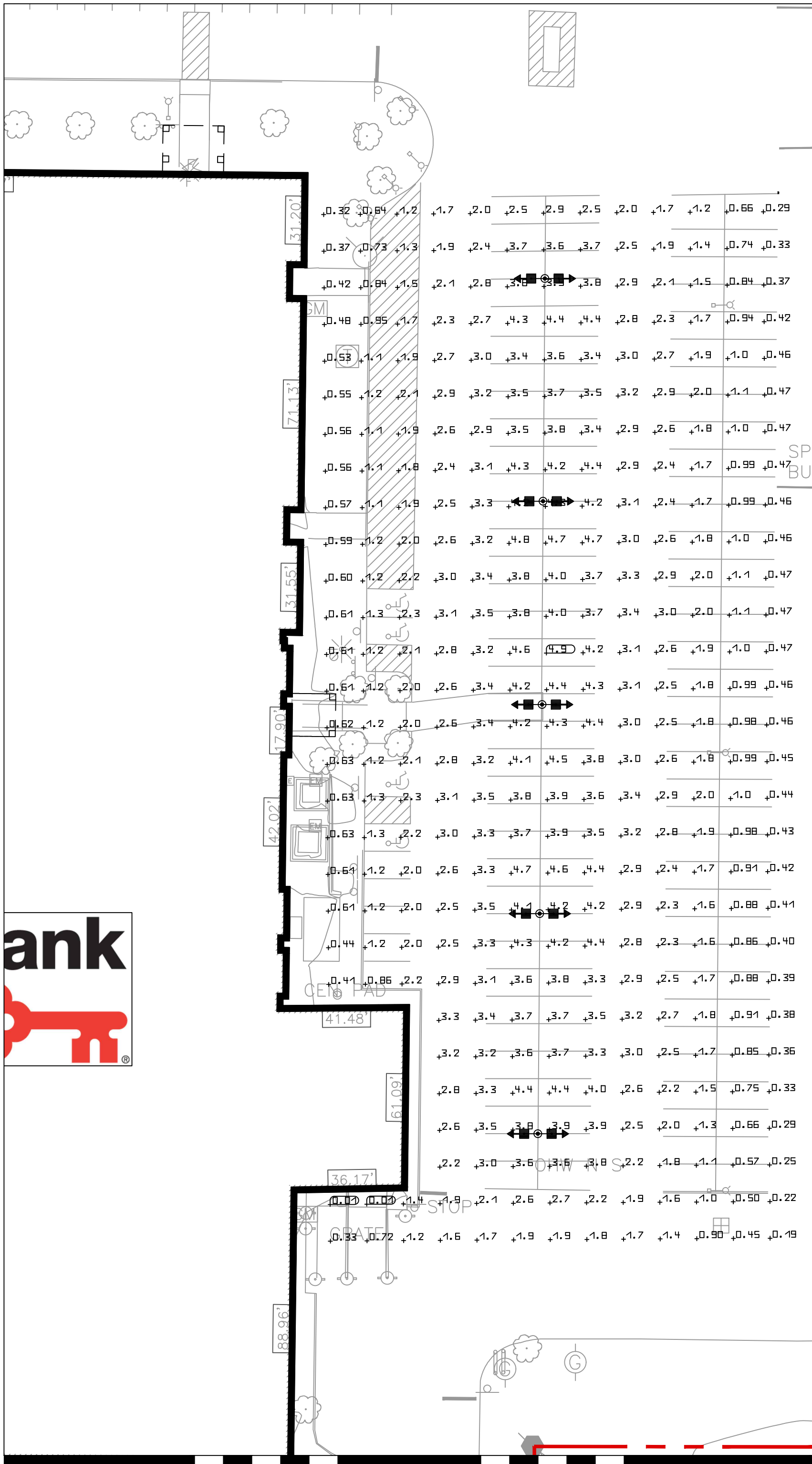
TITLE:
Landscaping Plan

SCALE:
As Noted
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
08.05.2021
C7.0

FOOTCANDLE LEVELS AT GRADE					
#	Name	Parameter	Min	Max	Average
1	Parking / Pavement Areas	Site FC	0.32 fc	6.17 fc	1.50 fc

Luminaire Schedule						
Index	Manufacturer	Luminaire type	Item number	Lumens per Fixture	Mounting Height	Fixture Watts
	Simplex	Simplex FLD-RS Series Area Luminaire, Type 5, 110W Input Power Designator, 4000K	FLD-RS-110W-LV-40K-T5	16,678 lm	25 Ft	110 W
	Cree	C-LITE Cree Lighting LED Pathway Lights, 4000K, Type 5.42 Height, Back	C-BD-A-BLD-2L-40-K15-42-8K	2,450 lm	3 Ft	20W

* Refer to Drawing for Fixture Orientation





FLD-RS

spec-grade performance

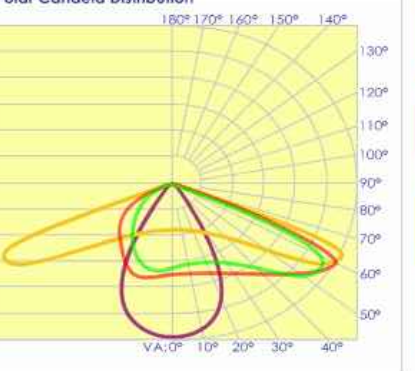
AREA, ROADWAY, & STREET LIGHTING

The FLD-RS is our second generation spec-grade luminaire in the FLD series. Redesigned with increased efficacy and distribution for projects requiring a sleek architectural profile and the high-performance of a SimplyLEDs luminaire. FLD-RS boasts an IP66-rated cast aluminum body with over 1,800sq. in. of surface area & 40kV driver-attuned surge protection standard on every unit we manufacture. Each FLD-RS is equipped with a top-mounted NEMA 7-pin connector & shoring cap.



AVAILABLE IN 60W THRU 340W

Polar Candela Distribution



T3
T4
T5
TF

Available Color Temps (K): 4000, & 5000

CRt: 72+

Lifetime (L70): >150,000

LED Source: Seoul Semi 5050

Power Supply: Inventronics 0-10V, 120-277V AC (480V optional), 50/60Hz dimming driver

Compliance: ETL, UL 1598, 1598B, 1598C Suitable for wet locations

Warranty: 10 years

60W - 110W	17" L x 12.5" W x 3.5" H
160W - 340W	23" L x 14.75" W x 3.5" H

EA 060W - 110W: 23sq. ft. 160W - 340W: 33sq. ft. LS 060W - 110W: 16 lbs 160W - 340W: 22.5 lbs



C-BD-A-BLD Series

LED Pathway Lights
Replaces 100W PSMH



LIGHT UP THE NIGHT

Designed to help increase security along perimeters and pathways, the C-Lite LED Pathway Light delivers 2450 lumens and features durable die-cast housing and a 5-year limited warranty. It's available in 36-inches or 42-inches and a medium bronze or black finish.

PRODUCT SPECIFICATIONS

OVERVIEW		RECOMMENDED USE	INPUT VOL.
Initial Delivered Lumens: 2450 Lumens	Operating Temperature Range: 40°F to 104°F (4)		
CRt: 70	Estimated L70 Lifetime @ 25°C: >100,000 hours	Security	Universal 020V through 480V
CCT: 4000K, 5000K	Power Factor: > 0.9	Perimeter	
Mounting height: Ground level	Total Harmonic Distortion: < 20%	Commercial	
Input Power: 20W	Limited Warranty: 5 Years*		
Recommended Spacing: Up to 46-feet	Replaces 100W PSMH		

ORDERING INFORMATION

Example: C-BD A-BLD 2L 40K T5 36 MB

C-BD	A	BLD	2L		
PRODUCT	SERIES	TYPE	LUMEN PACKAGE	CCT (COLOR TEMP)	DISTRIBUTION
C-BD	A	BLD	2L	40K Neutral White (4000K) 20W	T5 Type V Distribution
				50K Cool White (5000K) 20W	
					HEIGHT
					36 36-inches
					42 42-inches

CERTIFICATIONS:



Rev Date: 02/02/2021 For informational purposes only. Content is subject to change. *See lighting.cree.com/warranty for details

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

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Know what's below.
Call before you dig.

PROPERTY NUMBER: #5077 AREA: -

Amherst Commercial Park
4224 - 4256 Ridge Lea Road
Amherst, NY 14226

PROPOSED PARKING EXPANSION

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE: **Lighting Plan**

SCALE: 1" = 30'

DRAWN BY: DMZ

CHECKED BY: MAO

DATE: 08.05.2021

DRAWING NO. **C8.0**

TOWN OF AMHERST
DESIGN ADVISORY BOARD
DESIGN REVIEW FINDINGS
SP-1983-42-H

PETITIONER

James Boglioli, Esq.
Benderson Development
570 Delaware Avenue
Buffalo, NY 14202

PROPERTY LOCATION

4224-4256 RIDGE LEA ROAD

WHEREAS, the Town of Amherst Design Advisory Board on Thursday, August 26, 2021 held a public meeting on the design review for a Site Plan for a reconstruction and expansion of the existing parking lot south of the Key Bank office building, new site lighting and upgrades to the façade of the existing building. With respect to the proposed improvements to the building façade the petitioner is proposing five architectural additions to the building that will be constructed with similar materials as the existing building. The façade elements will utilize EFIS, insulated metal panels, and architectural masonry veneer. The new façade elements will replace the existing temporary fabric awning structure that are used as the employee/visitor entries, as well as the two corners facing North Bailey Avenue and

WHEREAS, the Design Advisory Board reviewed the plans and specifications for the proposed project,

NOW THEREFORE BE IT RESOLVED that the Design Advisory Board, in accordance with Local Law 18-2019 makes the following recommendations to the Planning Board on said Site Plan:

1. That a pedestrian crosswalk be provided from a point near the northern terminus of the walkways along the west side of the subject building across Bailey Avenue to the public sidewalk on the west side of Bailey Avenue.

The foregoing findings were adopted by the Town of Amherst Design Advisory Board,
August 26, 2021; moved by – Mr. Giuliani; ayes 5, noes 0.



Dal Giuliani, Chair

8-30-2021

Date

Reviewed Plan Date:	June 25, 2021
Reviewed Plan Preparer:	James Allen Rumsey
Received Plan Date:	July 14, 2021

SM/rb

X:\Current_Planning\Files\Site Plans\2015\SP-2015-07_B_(1265_Sweet_Home_Rd)_2021\DAB\DAB_Findings_SP-2015-07_B_04222021.doc

cc: Town Clerk
Commissioner of Building
Town of Amherst Planning Board